



INTRODUCTION

KOODOS DESIGN LTD

Interior Design & Built Consultancy Services
2024-25

ABOUT

Koodos Design Ltd specialized in the production of high quality and challenging interior design projects.

We assemble a group of professionals specialize in interior design, project management, engineering, technologies and access control as well as audio visual who dive into creative, effective and good quality productions.

Our marketing strategy is to think from a client's perspective in order to provide solutions best fit for their needs.

- To create the highest quality projects;
- To deliver cost effective solution project;
- To provide best time management project;
- To promote the care of the environment;

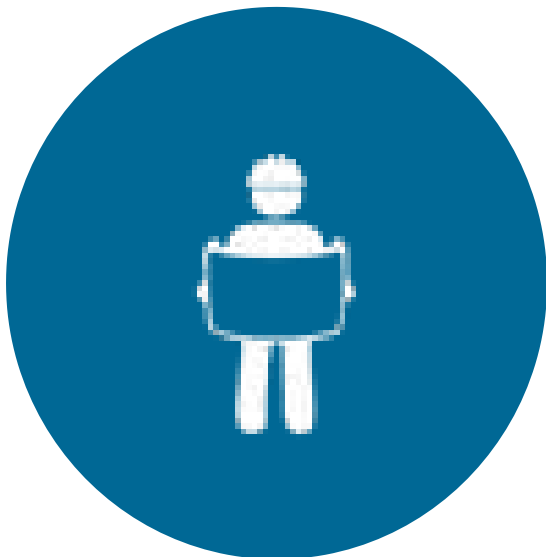
OUR SERVICES

How we do it



COMMERCIAL DESIGN

Architecture, interiordesign, branding, design concept, sustainable design (LEED), construction drawings



ENGINEERING DESIGN

Structural modifications, HVAC design & commissioning, indoorair quality, fire system design, MEP design, energy and power solution



PROJECT MANAGEMENT

client representation, cost control, construction scheduling, BMO coordinations, quality control andrisk analysis



CONSTRUCTION

Government approvals & submission, coordination with subcontractors, quality management system, HSE management system



PROJECT COMPLETION

PROJECT COMPLETION Handover package, as-built drawings, finalgovernment approvals, after sales - 24/7 service

We care for our world

We care for our future

We share and act
Globe's concern is our concern

STAYING **BOUTIQUE** WITH GLOBAL PRESENCE

BUILD STRONGER **RELATIONSHIPS** WITH OUR CLIENTS

OUR **PEOPLE** & OUR **CONNECTION** WITH ONE ANOTHER

TRANSPARENCY & OPEN COMMUNICATION



OUR VALUES



Good lighting

Different posture settings
for various work activities

WELBENG

Soundproofing and acoust
solutions

Indoor airquality
(Humidity, CO2 and PM2.5 sensor)

Clean & high quality
water solutions

QUALITY CONTROL PLAN

Drawing review (for detail construction methods and material specification)

1

Material sample board and fabrication process review

2

Material on-site checklist (with specific dates and specification for on-site delivery verification)

3

Monitor & inspect on-site workmanship quality & methods of construction (ensure quality on-site delivery)

4

Defect checklist (ensure all defects are being recorded and repaired at a given appropriate timeline)

5

Testing and commissioning (ensure the quality of end product)

6

ONE TEAM ONE AIM ONE OUTCOME

Liaise with users from different departments

Maintaining open communications

Proactive mitigation of risks Constant

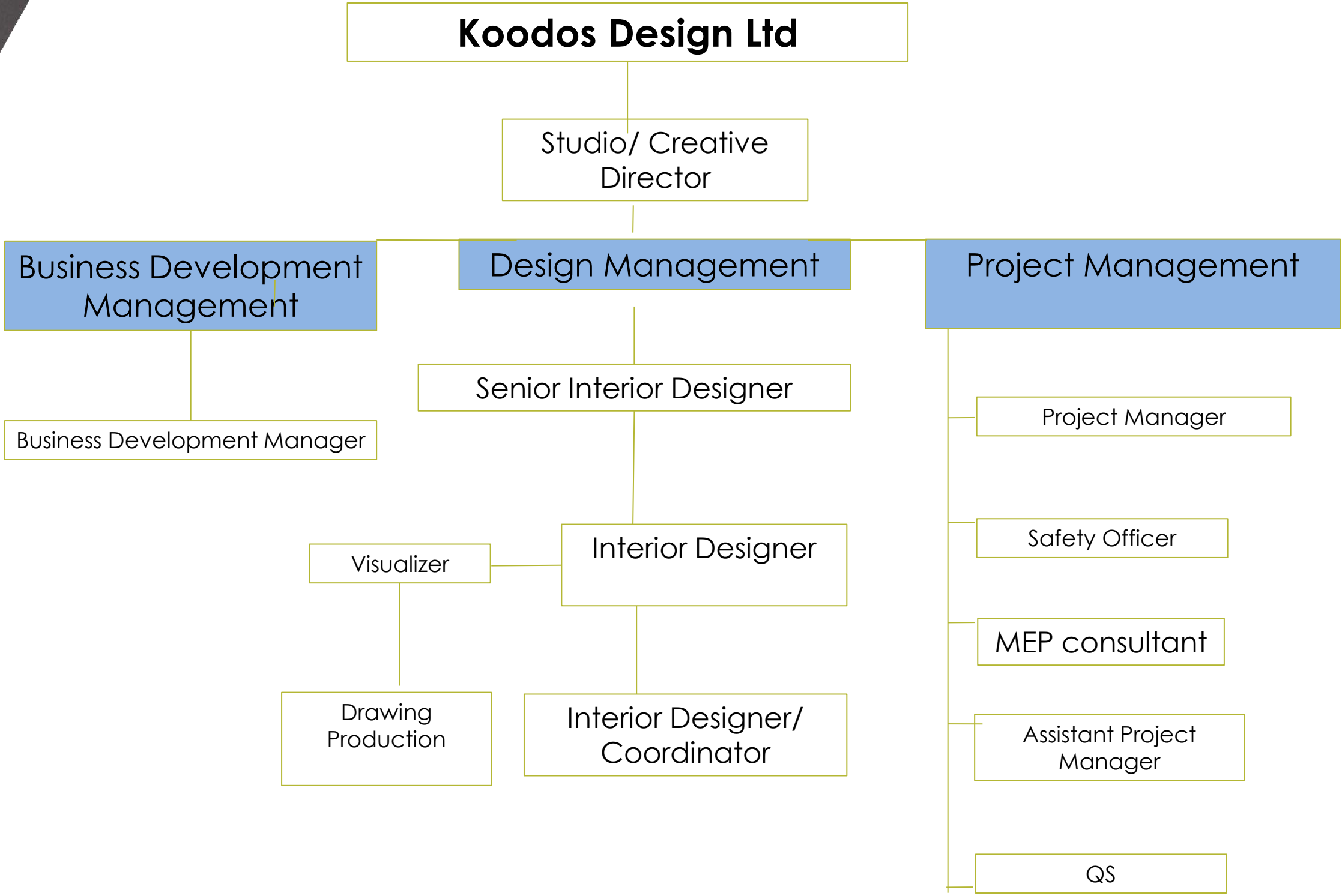
monitoring of programme Quick

identification of issues

Proper resources allocated and committed

Minimal defects and snagging and committed project closure

Organization Chart





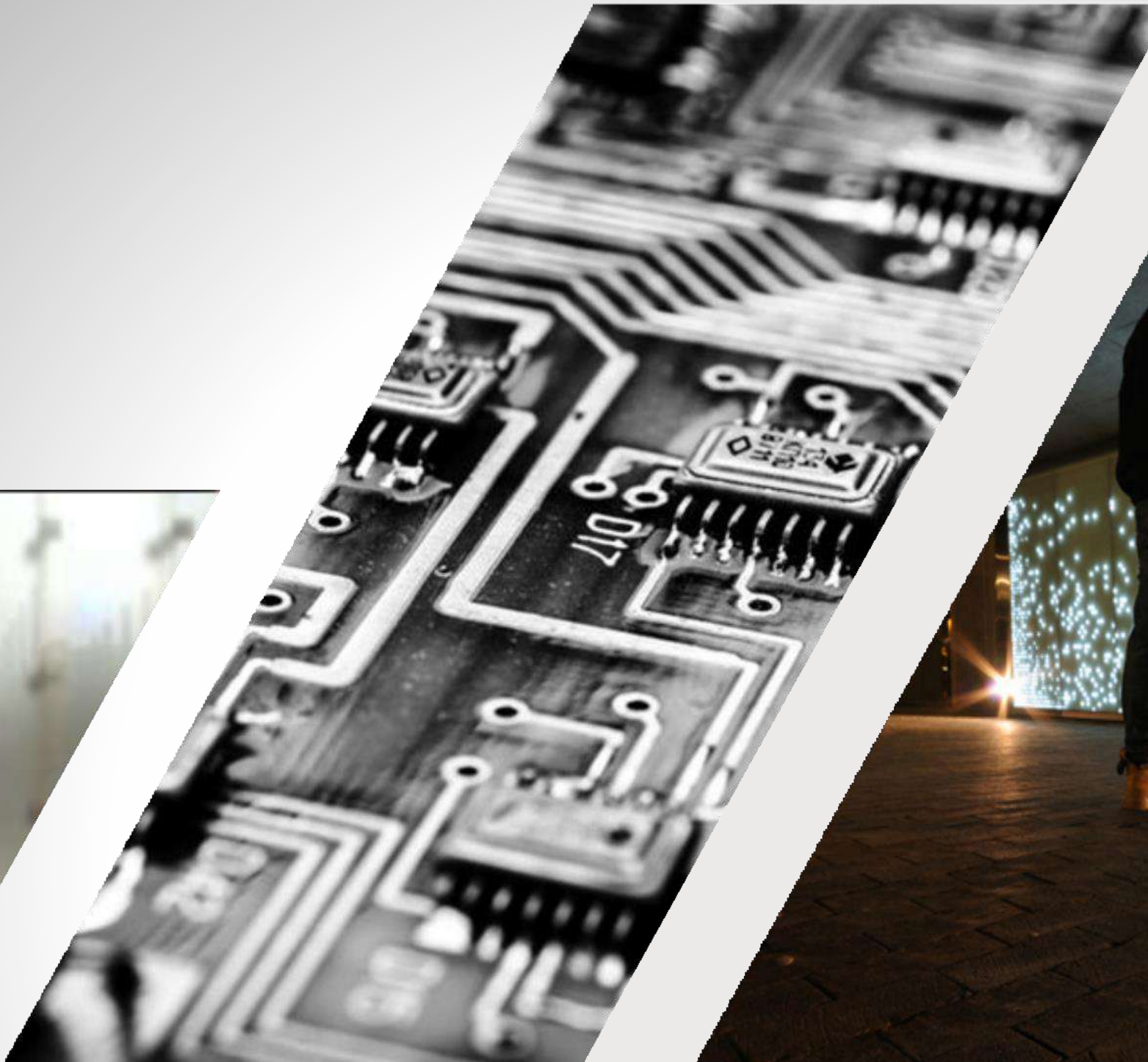
INFORMATION

2



ADD-ON SERVICES 3D MAPPING

Information



DIGITAL INSTALLATION



INTERACTION

ADD-ON SERVICES FOCAL POINT IDEAS

SUSTAINABILITY

Sustainability and environment preservation are hot topics nowadays. We instill the sustainability concept in our projects make a difference to the future generation.

We produce sustainable design, effective floor and lighting layouts to enhance efficiency of work.

Good furniture strategy plans would increase the percentage of reusable components. Effective light zoning layouts would save energy and minimize carbon emissions.

We focus on our material and furniture specifications, which include raw materials, production plants, countries of origin, installation materials and residuals generated from production. Due care of treatment to construction details reduces the residual of materials and decoration and saves cost.

Living in the most fast paced cities in the world. People claim a lack of time to think about others... but work hard to achieve personal goals. Although we are a small four wheel drive driving the green concept, we believe we are the source that welcomes the new era.

Quality Benchmarking

...through Shop Drawings, Samples and Mock Ups

Throughout the construction process, our team will monitor and ensure the quality and workmanship in order to minimize the defects at the end of the project.

We have a detailed 'sign off' procedure of samples and requested mock ups.

There are a number of key procedure we use to ensure quality through requesting the right information through our RFI Schedule (Request for Information) and Sample Log.

Shop drawings developed from design drawings are produced and reviewed /approved by the designer to ensure we construct to the desired design.

Site Management

We will develop in our 'Logistics Plan' the proposed site set-up, safe routes, hoardings and ingress and egress points for workers accesses and site deliveries. Once appointed, we will construct temporary facilities and propose to negotiate the use of the base building toilets with BMO for operatives and staff, with a full schedule of conditions to be carried out and a strict regime of cleaning and protection enforced. Once the project is completed these will be returned to their previous condition with agreement of the Client and BMO.

We understand the impact of our works and we will be pro-active in ensuring it does not impact on anyone outside the project.

Logistics Planning

Logistics planning will be crucial to this project. We are aware that there are numerous tenants that will be moving in to complete their new offices as quickly as possible, logistics and security will be paramount. We will work closely with the BMO to make the process as smooth as possible; the success of the project is down to the relationships we build.

Our approach throughout the project will be to ensure we maintain a safe, clean, tidy and friendly site for all. We will pass on the expectations of the team in our site inductions, contractor meetings and general day to day communication which will all help to produce the quality of installation we expect.

Security

We will liaise with BMO to obtain the necessary working pass. All our management staff, consultants and client representatives will require a security pass to gain access to site. As the Main Contractor we are responsible for the security and safety of site and we will carry out the necessary arrangements to ensure a regime for securing the premises.

Site Facilities

Our main site facilities will include our Project Office, Meeting Room and Storage Area which will be located in the open area where loose furniture is located. We propose that the existing toilets where indicated are fully protected and utilised as part of our facilities for site.

Site Access

Site access for workers will be via the loading bay. Our intention is to have a security check point in view of the lift where a Contractors Temporary Pass will be issued. Passes for contractors working on site over longer periods of time can be issued on completion of the site induction. All contractors working on site will be inducted by our site management team and records kept. Inductions will normally be held at 9:00am each morning. We will incorporate the BMO Site Regulations with our own and have all personnel sign induction record sheets. The induction will be informative and cover how the site is run, general site rules, emergency procedures and muster point, safety and health, working in occupied buildings. On successful completion of the induction we will issue a pass. On future visits to site this can be presented at the security desk in exchange for a pass to enter site.

All visitors to site must sign in and out at the security point before entering the building. This register will be used for roll call in the case of an emergency. Passes will be issued at the point of entry, and must be displayed at all times whilst working in the building, and returned at the end of the working day. Our management team will work closely with the security team to ensure the buildings security is not compromised.

SAFETY FIRST

WORK AT HEIGHT

The most common accident cases in construction areas are when people work on heights without safety equipment. No one is allowed to work on sites without approved safety equipment.

"**Construction** is a high-risk activity. Therefore, our single most important Social Responsibility is to ensure that everyone who returns home to their loved ones in the same condition as when they left for work."



PROTECTIVE MASK



ROPE



STANDARD PERSONAL PROTECTIVE EQUIPMENTS



GOGGLES



WORKING BOOTS



PORTFOLIO

3

Project Reference

Authorized Person



1. A&A Submission for Proposed Climbing Wall at Kowloon Women's Welfare Club Li Ping Memorial School
2. A&A Submission for Proposed Hatch Opening to the Connecting Bridge of Hang Seng Bank Head Quarter
3. A&A Submission for 1/F Toilet of NP360 Tung Chung Terminal
4. A&A Submission for Signboard Modification at 1/F and 3/F LHT Tower
5. A&A Submission for BFA Upgrading, San Fung Branch of Hang Seng Bank
6. A&A Submission for BFA Upgrading, Fanling Branch of Hang Seng Bank
7. A&A Submission for BFA Upgrading, Pei Ho Street of Hang Seng Bank
8. BFA Upgrading Works for Standard Chartered Bank Branches
9. FS(CP)O Directions for Various Banks and Retail



Portfolio – AP works

Project Reference

Comprehensive Project Management

(Including Design, Procurement and Construction Management)



1. Proposed Residential House at 5 Rutland Quadrant, Kowloon Tong.
2. Renovation Works for MBIS Notice at 777 Cheung Sha Wan Road.
3. Repair Works at NP360 Tung Chung Terminal.
4. A&A Works for 1/F Toilet at NP360 Tung Chung Terminal.
5. Proposed Office Fitting Out Works of Equinix at Tsang Wan.
6. Proposed Mini Storage Fitting Out Works of Red Box at Chai Wan.

Personal Experience

200,000 ft2 Office Fitting Out Project for AXA

SCB Private Banking Office

Wholesale Conversion Project for The EDGE at Kwai Chung

Asset Enhancement Works for People Place's Shopping Mall



KOODOS

Koodos Design LTD

Portfolio – AP works

Project Reference

Mandatory Building Inspection



1. 777 Cheung Sha Wan Road (Whole Industrial Block)
2. Balcony / Verandah Inspection for 2/F, Miami Mansion
3. Verandah / Planter Inspection for Green Valley Mansion
4. Planter Inspection for Elizabeth House

Portfolio - Commercial

WMS8

Wyndham Street 8, LKF, Central
1,000 sqft per floors (Total 24 floors)



Koodos Design LTD



Portfolio - Commercial

GoodMan Liftlobby

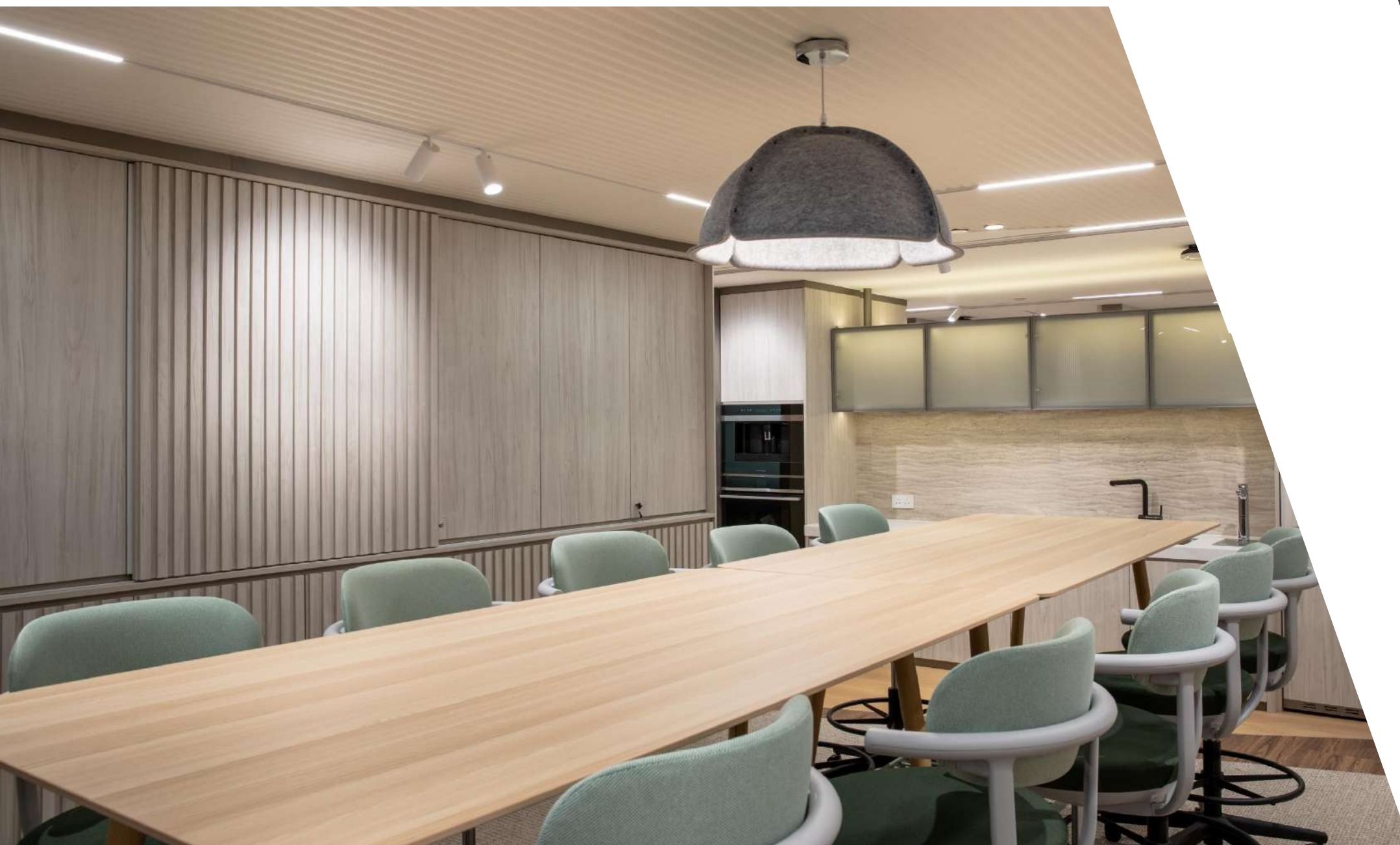
8,000 sqft



Portfolio - Workplace

D.H Foundation OFFICE (HK)

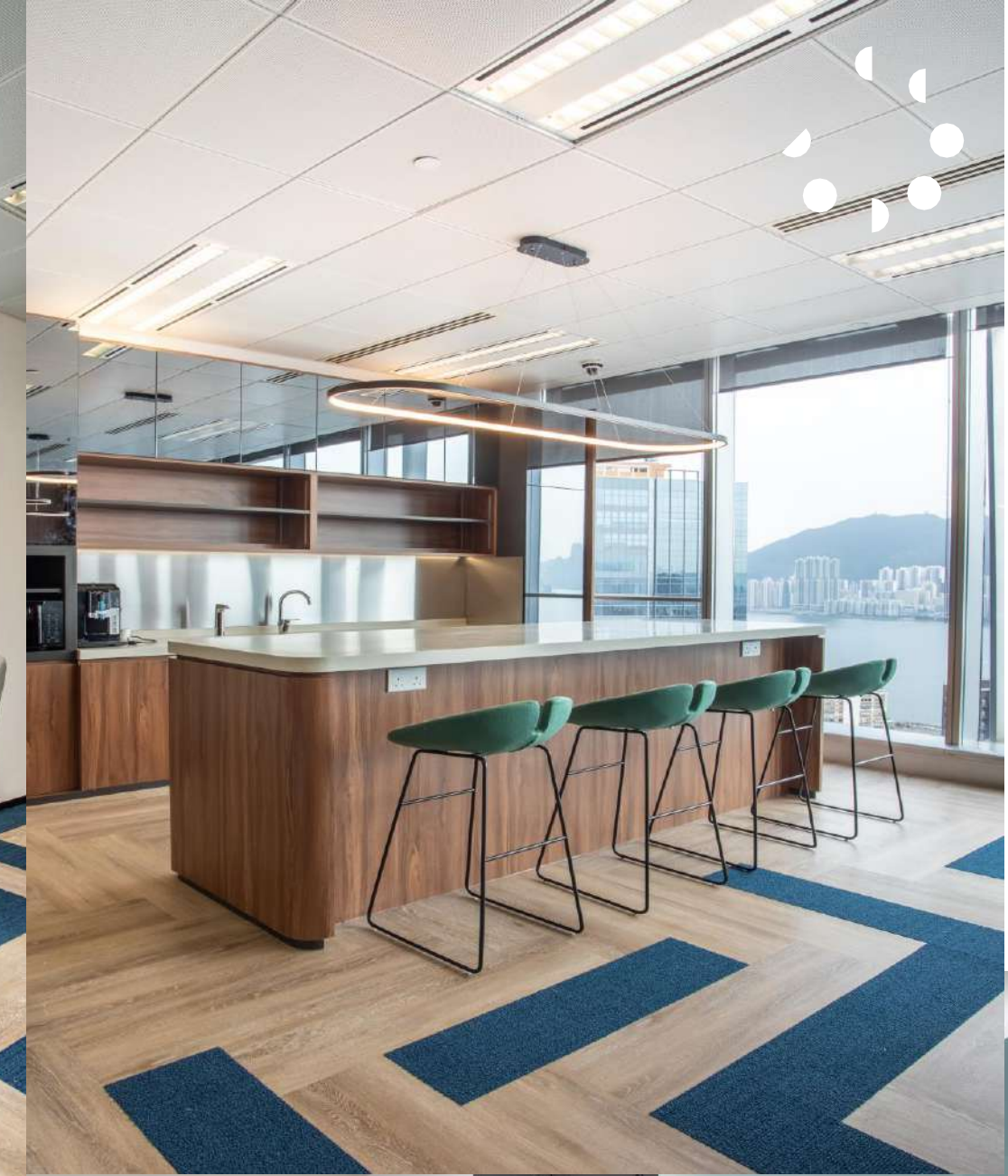
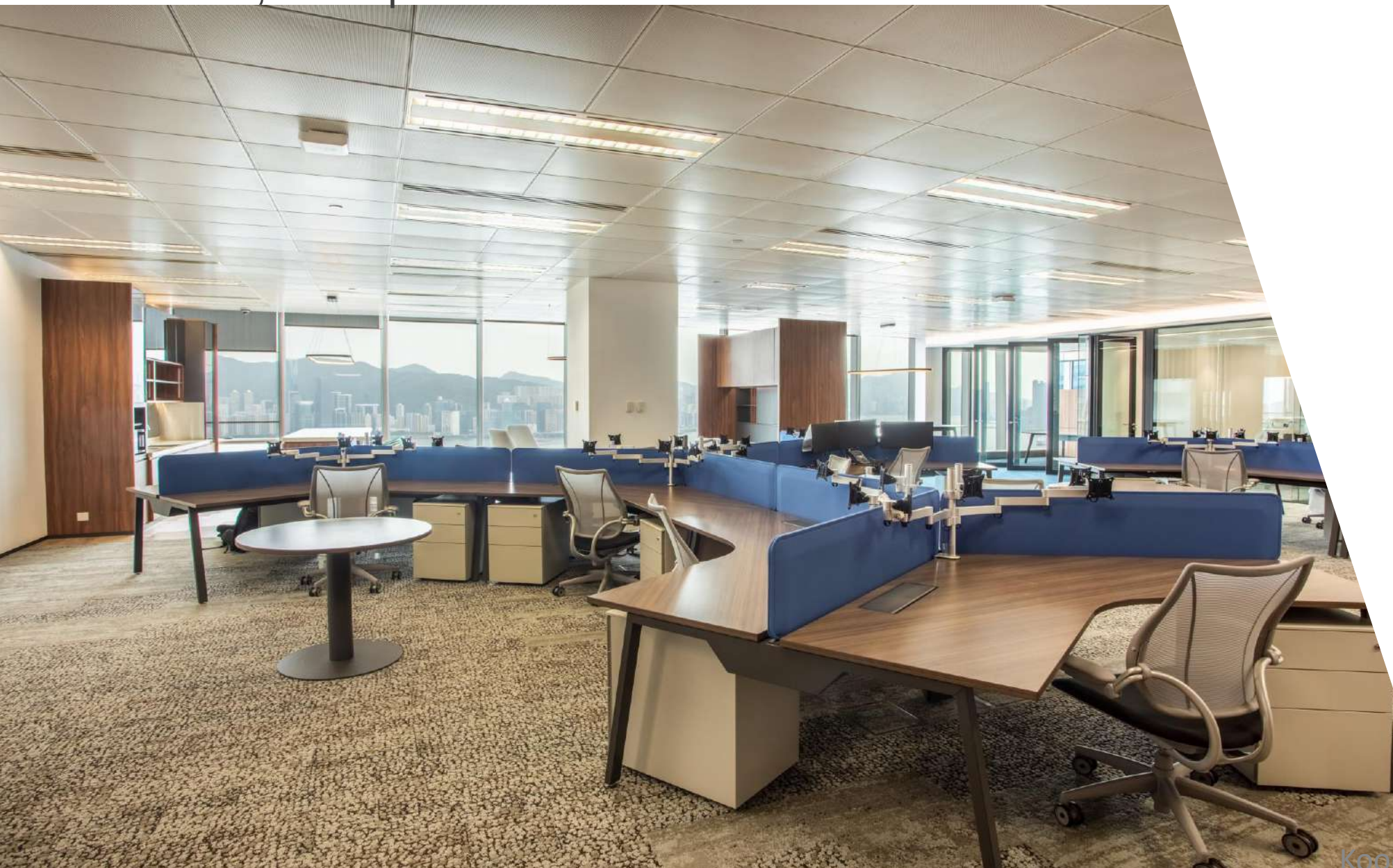
Nan Fung Tower, Central 9500Sq.ft



Portfolio - Workplace

Interactive Brokers OFFICE(HK)

AIA Kowloon Tower, Kwun Tong
5,000 sqft

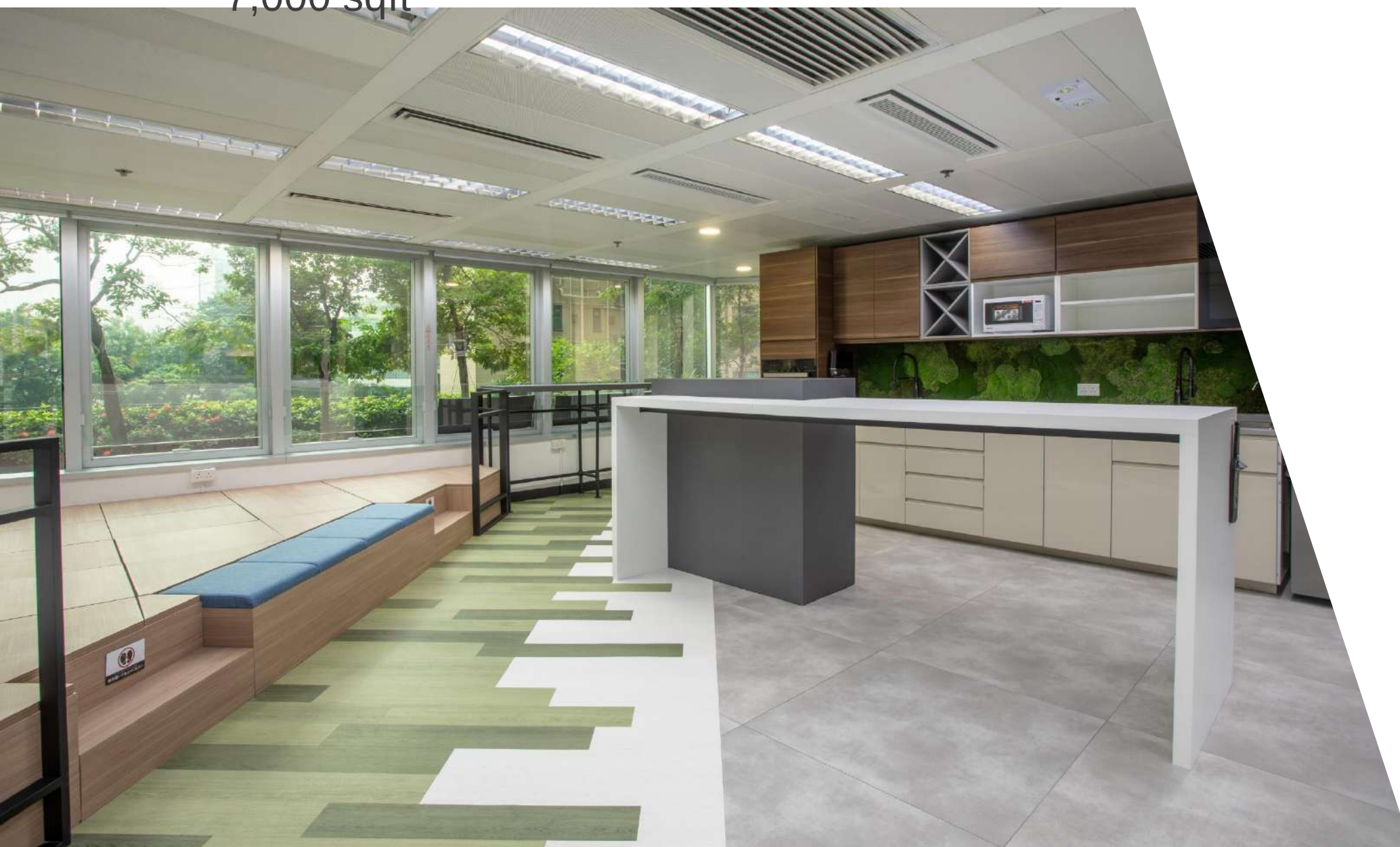


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Portfolio - Workplace

SWCS OFFICE(HK)

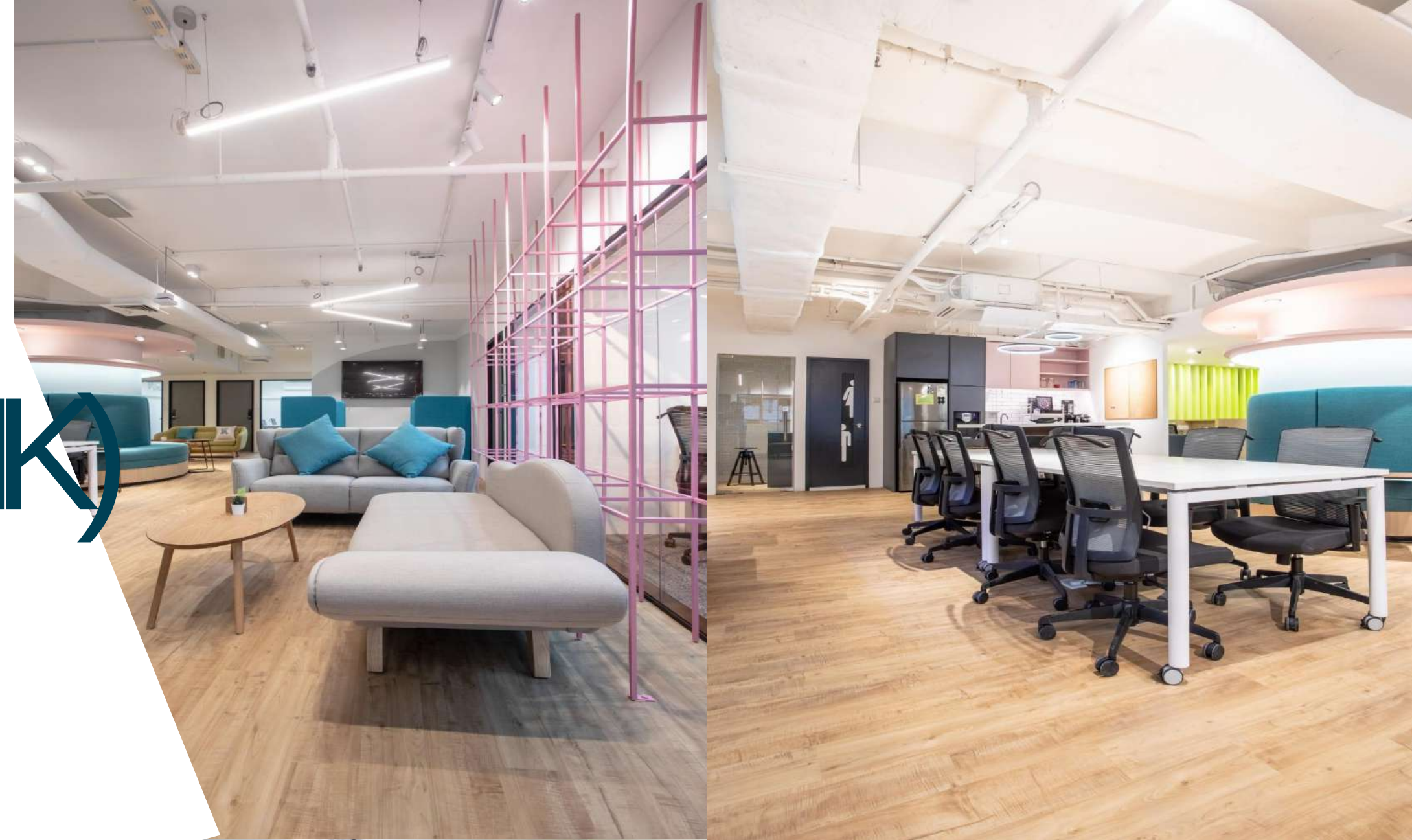
Dah Sing Financial Centre, WanChai
7,000 sqft



Portfolio - Workplace

Amphi CoWorking space (HK)

Kwun Tong 8,000 sqft

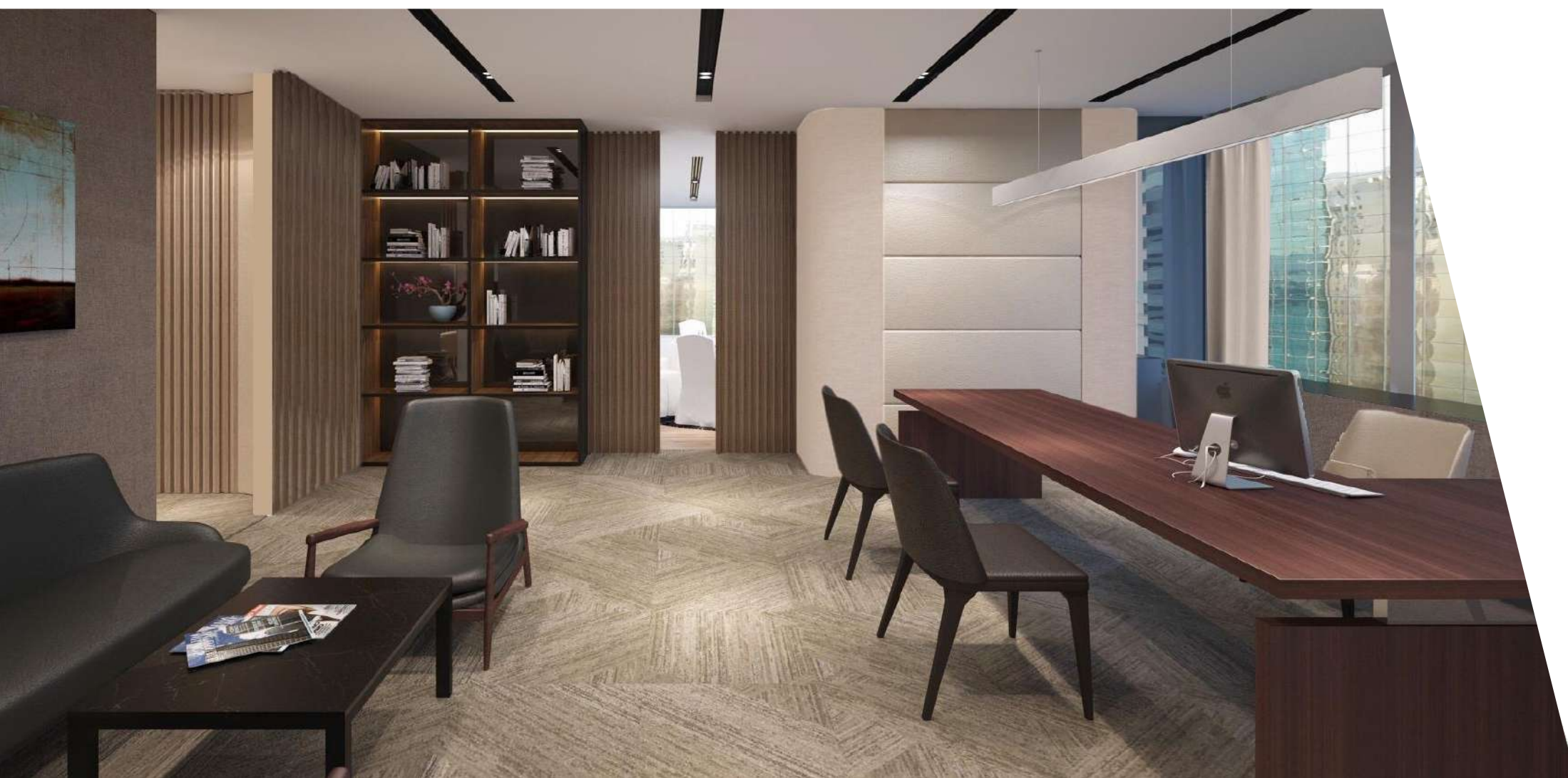


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Portfolio - Workplace

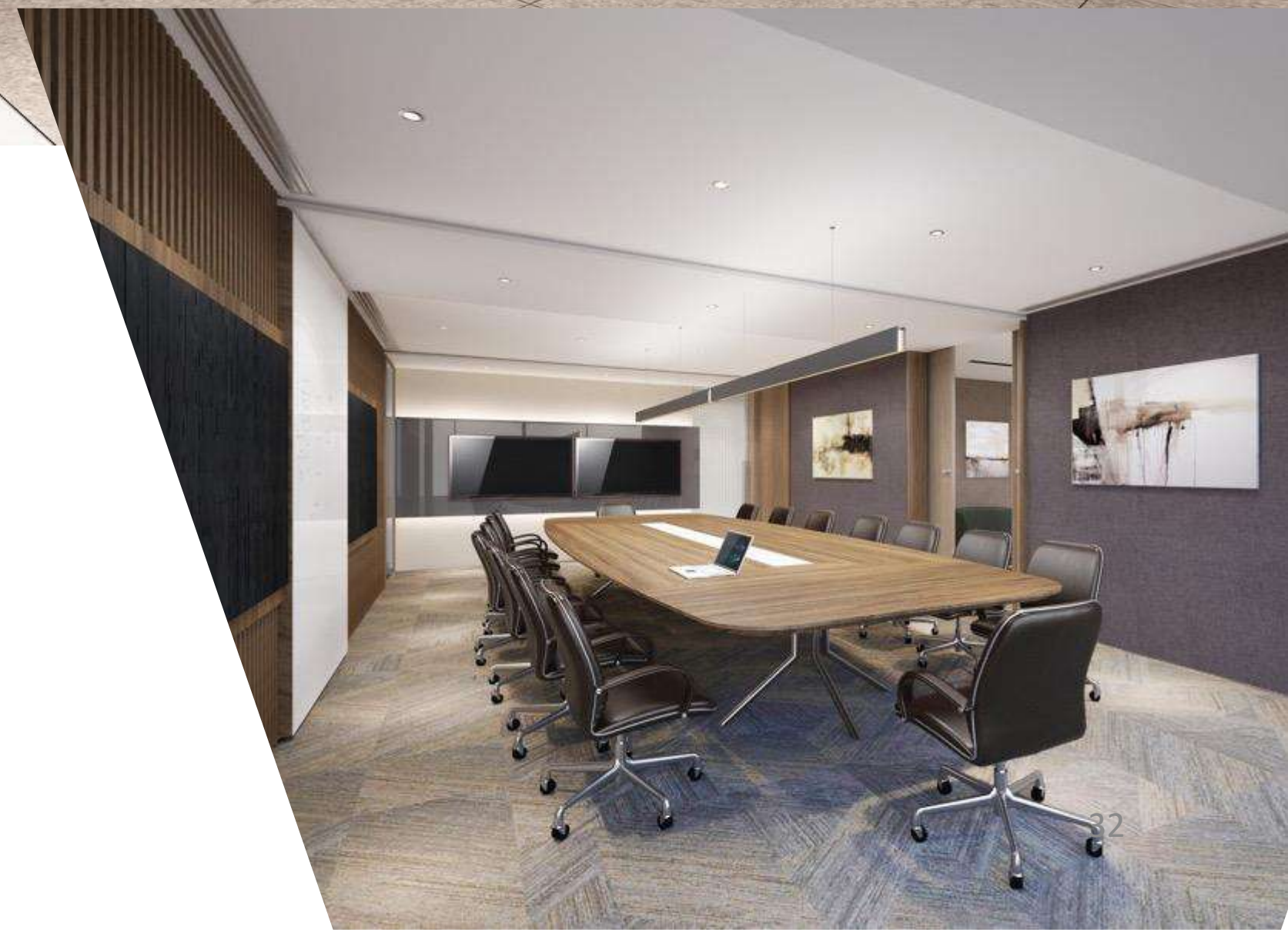
Carnival(HK)

Everbright centre, Wan Chai
10,000 sqft



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Hermes (Luxury Retail) OFFICE(HK)

Chinachem Leighton Plaza, Causeway Bay
20,000 sqft



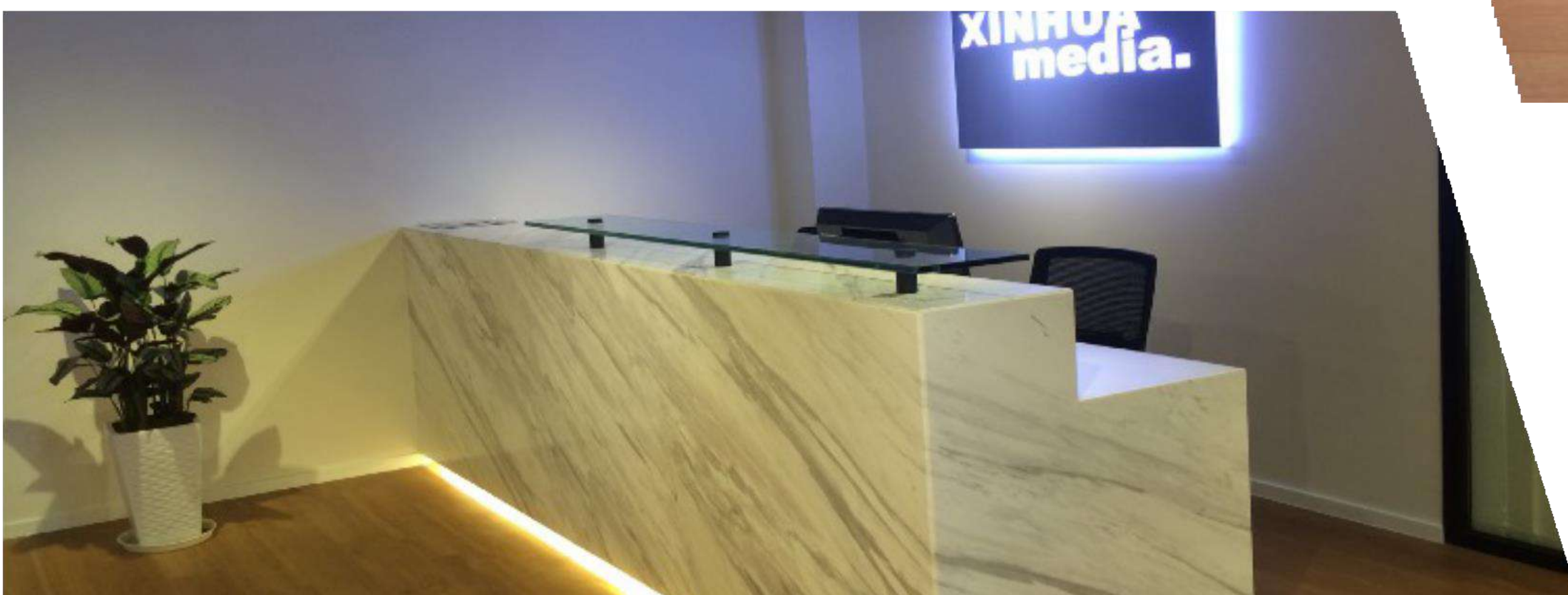
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Portfolio - Workplace

XINHUA MEDIA OFFICE(HK)

Nan Fung Tower, Central
3500Sq.ft



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Portfolio - Clubhouse



PRIVATE CLUBHOUSE

Bute Street, MongKok
6000Sq.ft



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BANYAN TREE(KL)

Kualalumpur
6000Sq.ft



Portfolio – F&B

TaiWan Restaurant (HK)

G01 Phase 2, Harbour North, North Point
4,000 sqft



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Portfolio – F&B

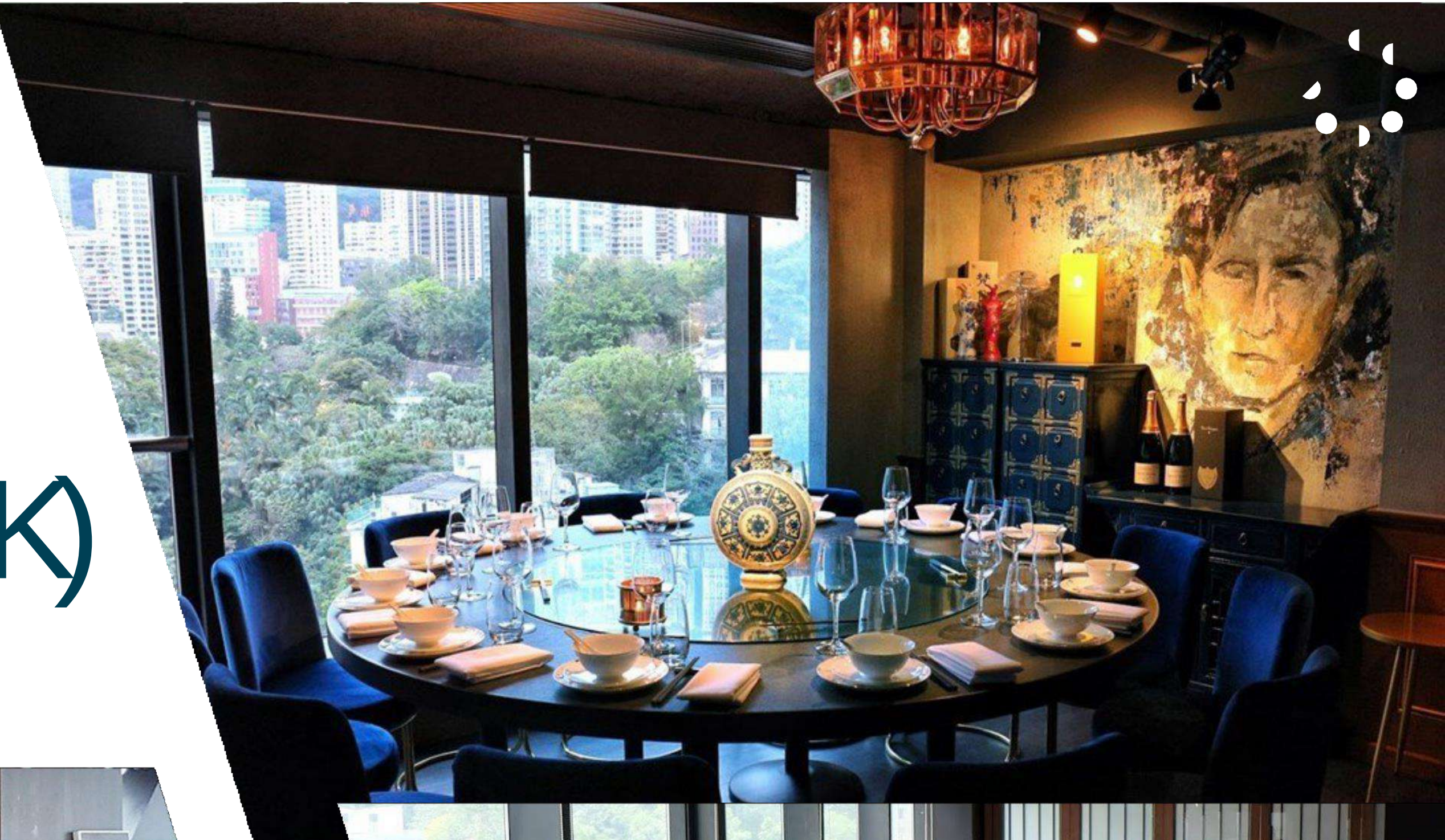
1935 RESTAURANT (HK)

M88 LKF
4000Sq.ft



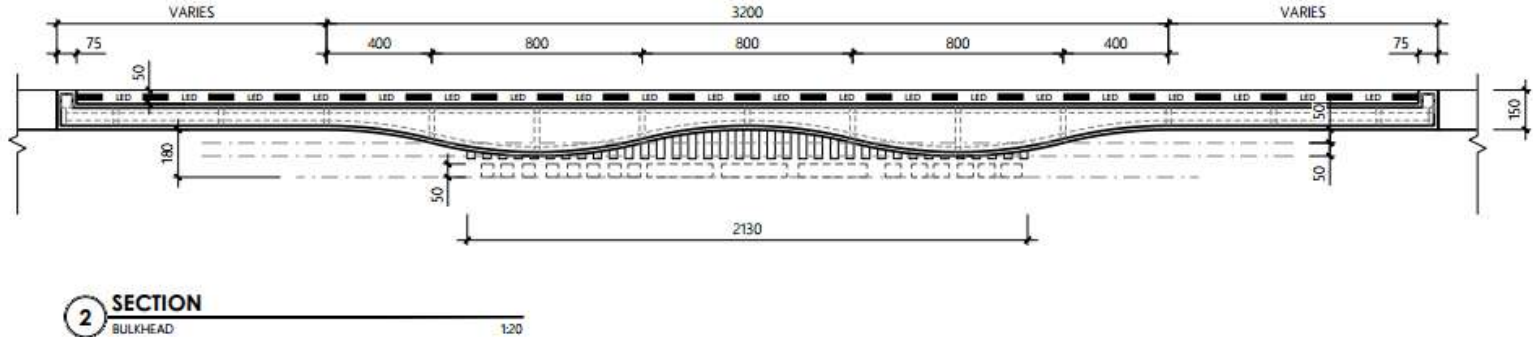
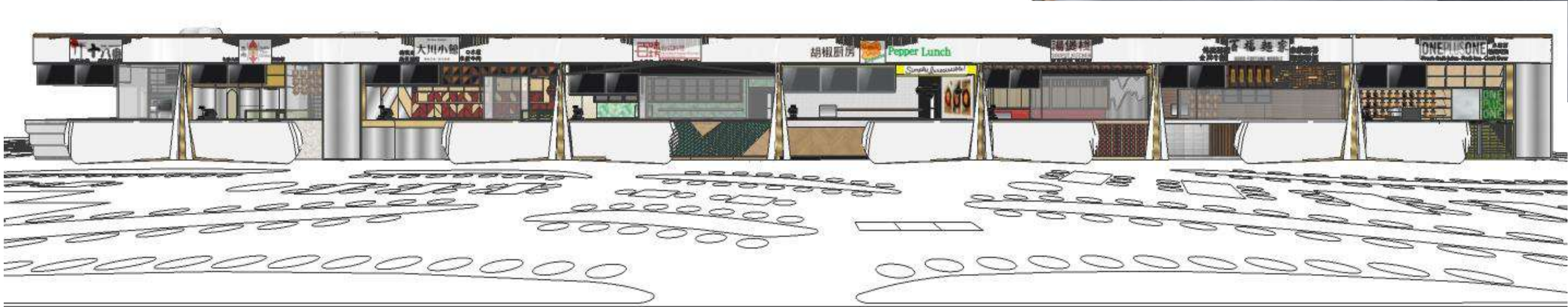
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MTPR FoodCourt

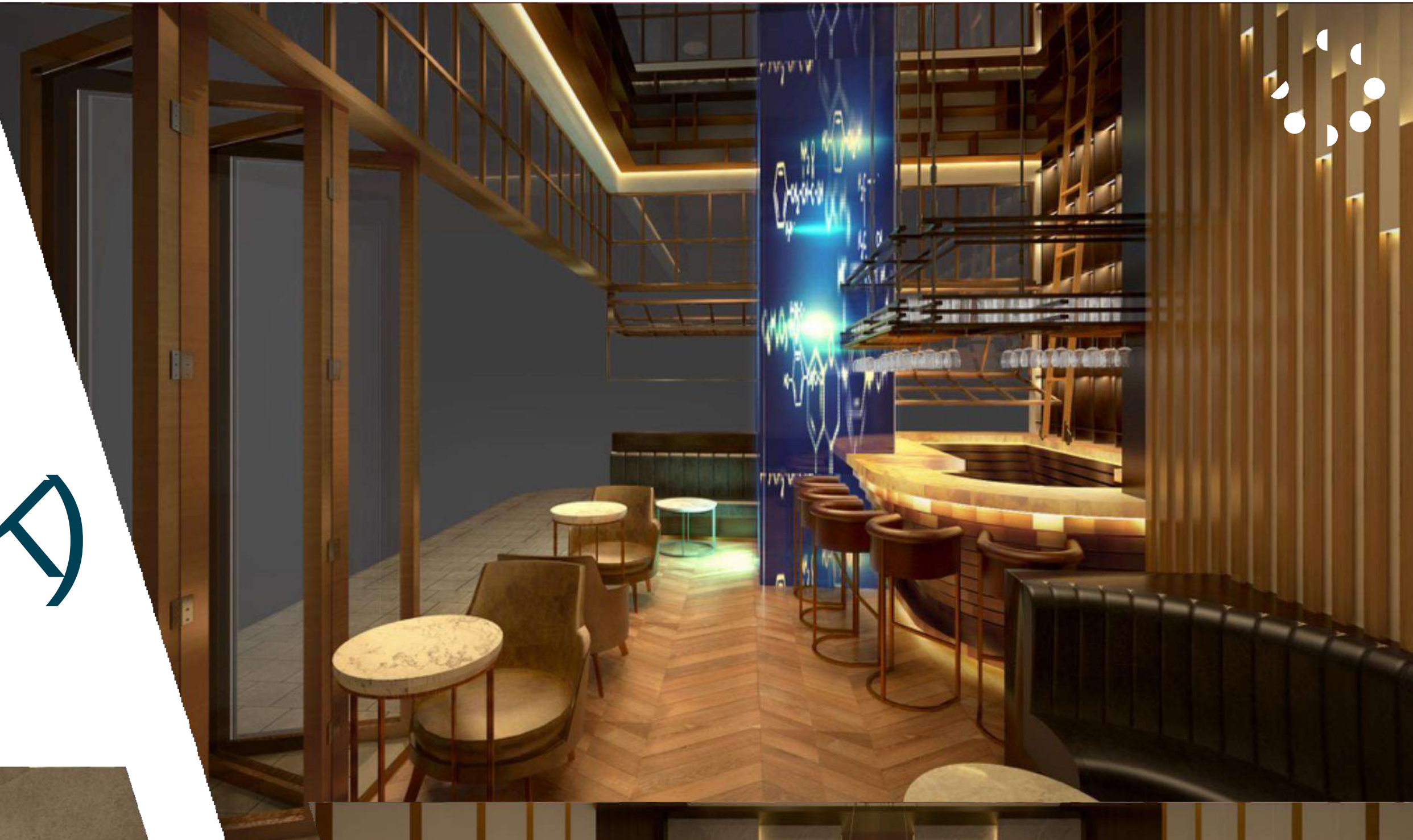
Macau
20,000Sq.ft



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C BAR VIP ROOMS (HK)

Tai Hang
6000Sq.ft



Portfolio – F&B

A CAFÉ BAKERY RESTAURANT

QingDao
6000Sq.ft



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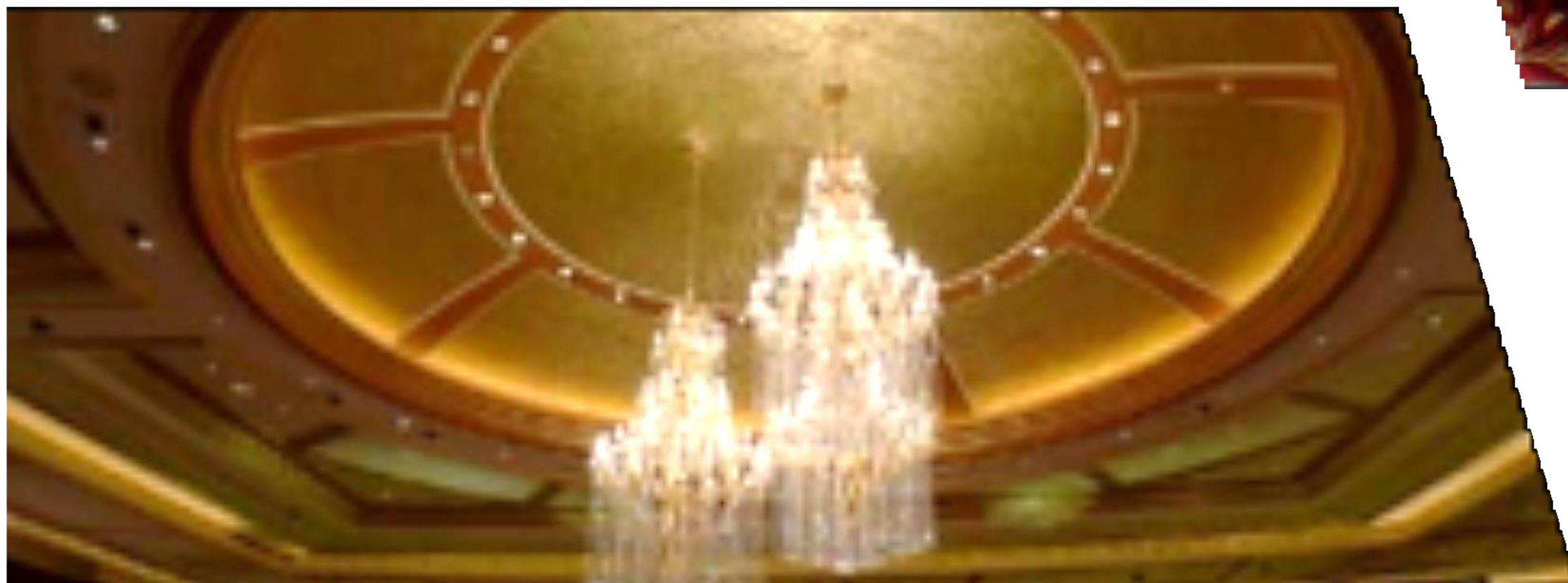
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Portfolio - Casino

FOUR SEASON PLAZA CASINO

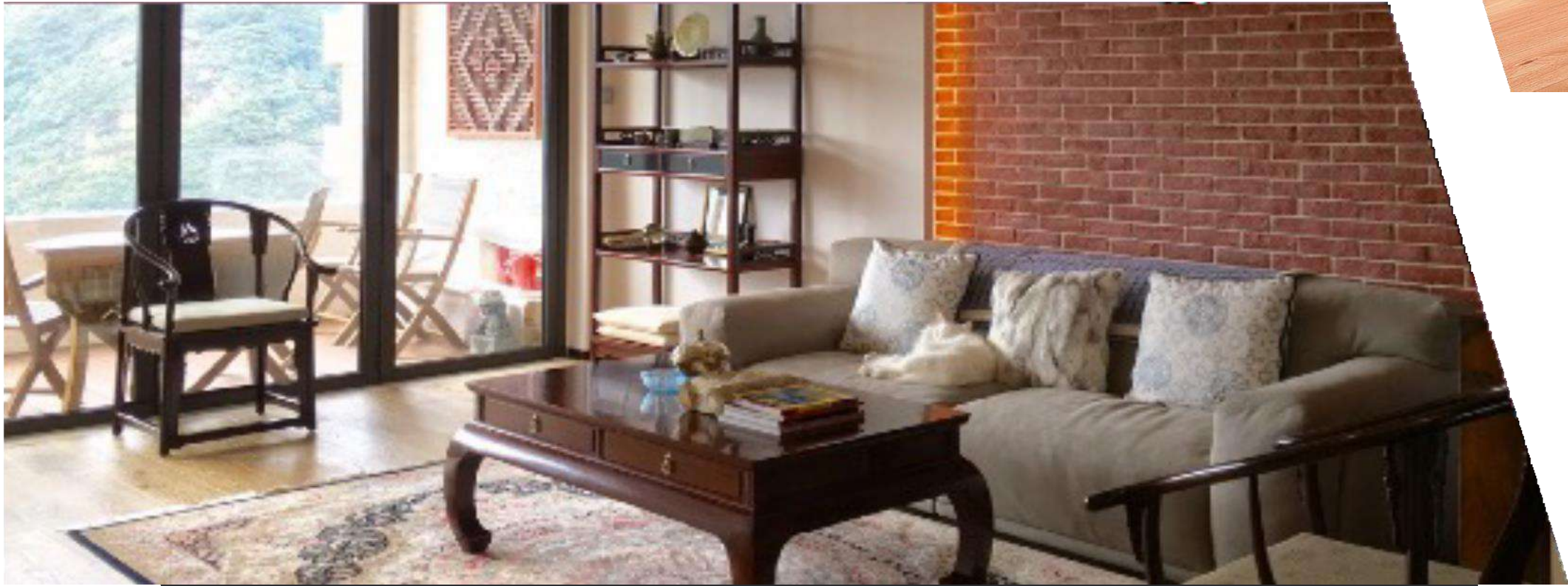
Taipa, Macau
4200Sq.ft



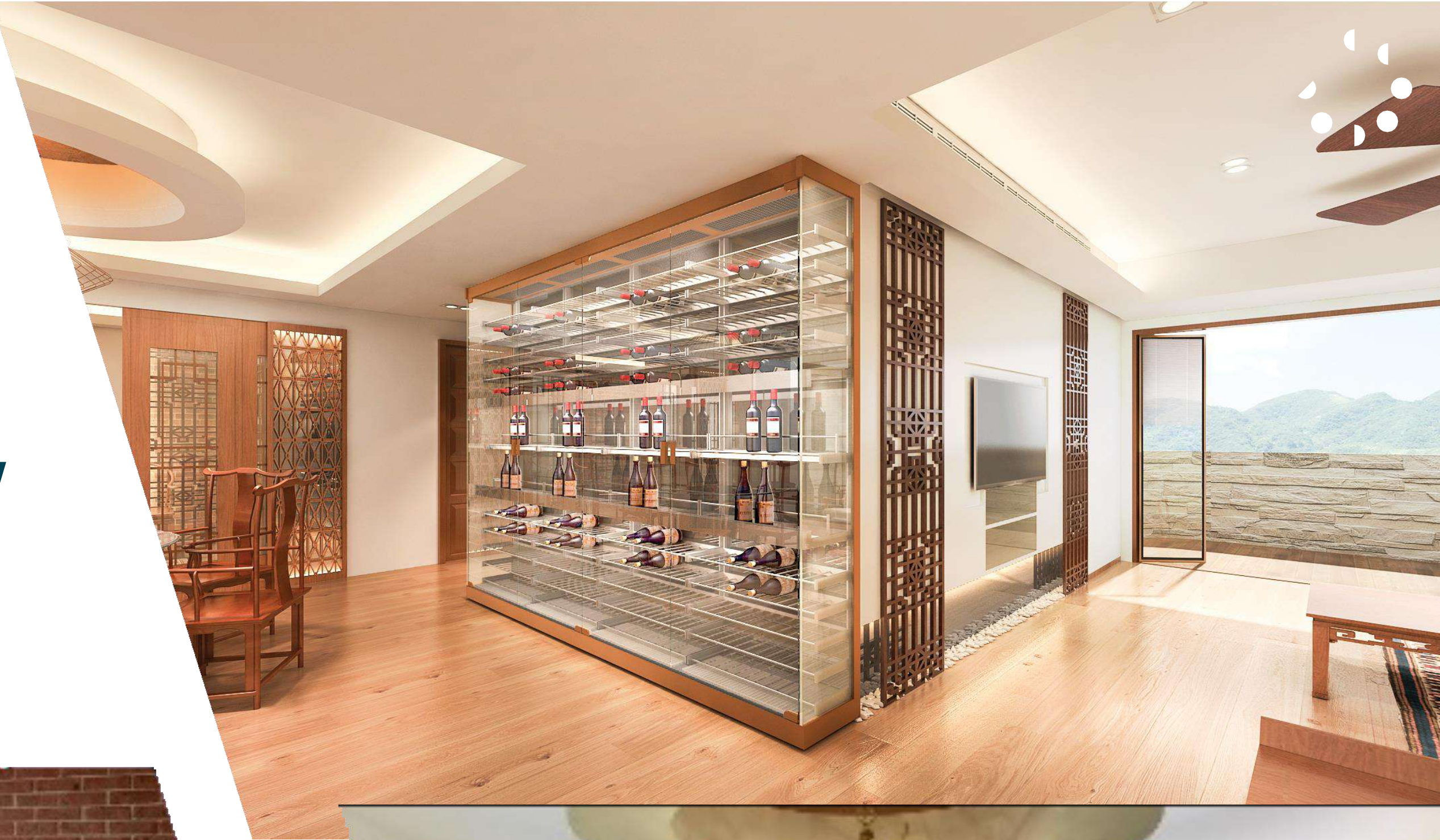
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THE PARKVIEW

88 Tai Tam Road
3000Sq.ft



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THERMA(HK)

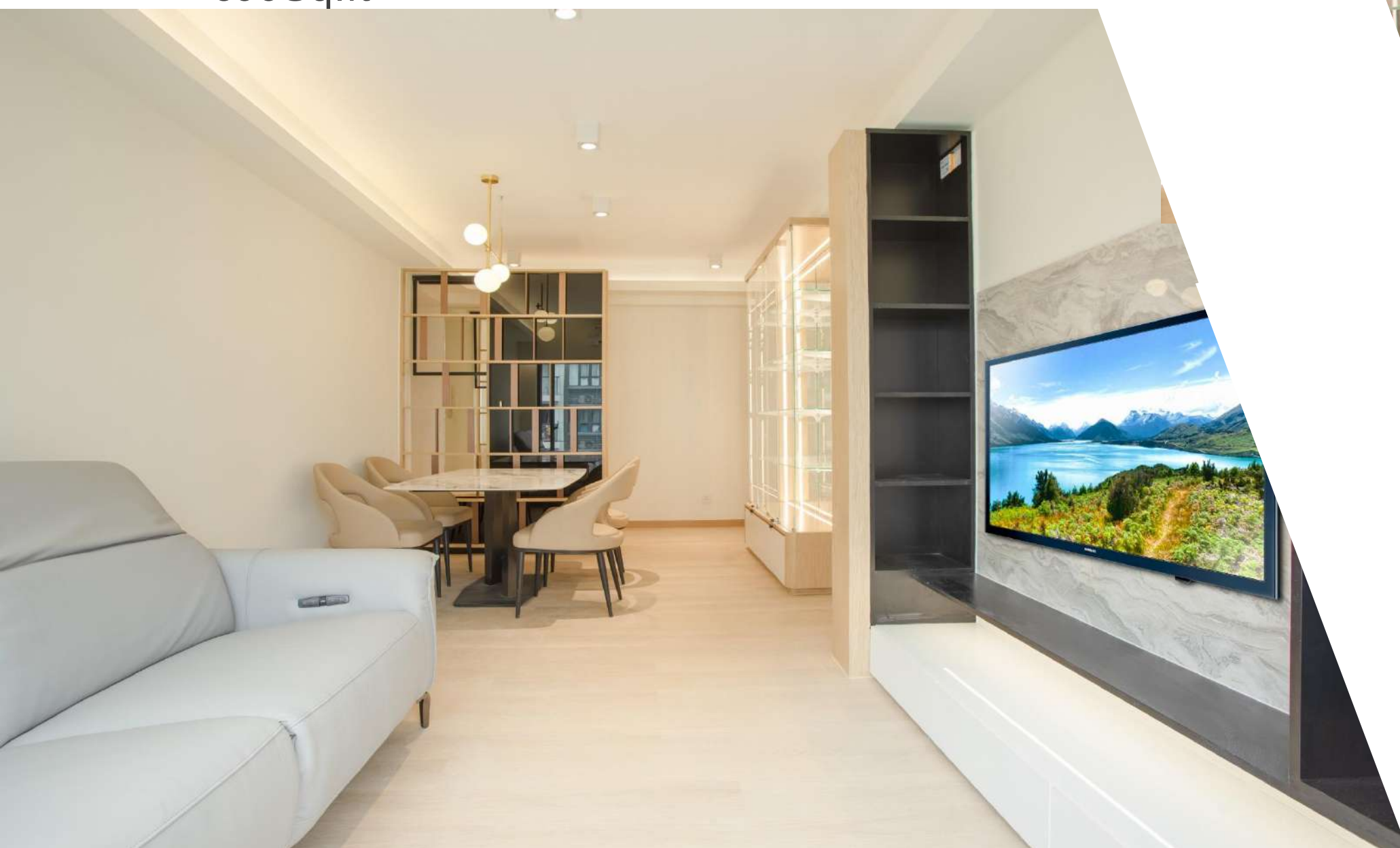
Yuen Long
4500Sq.ft + 2000Sq.ft Garden



Portfolio - Residential

PARK SIGNATURE

Yuen Long, HK
900Sq.ft



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Portfolio - Residential

HEALTHY VILLAGE

North Point, HK
1000Sq.ft



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Portfolio - Residential

VILLAGE HOUSE

Po Lu Che, Sai Kung
2000Sq.ft +4000Sq.FtGarden



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Portfolio - Retail

Celine

Macau



Portfolio - Retail

Louis Quatorze ShangHai

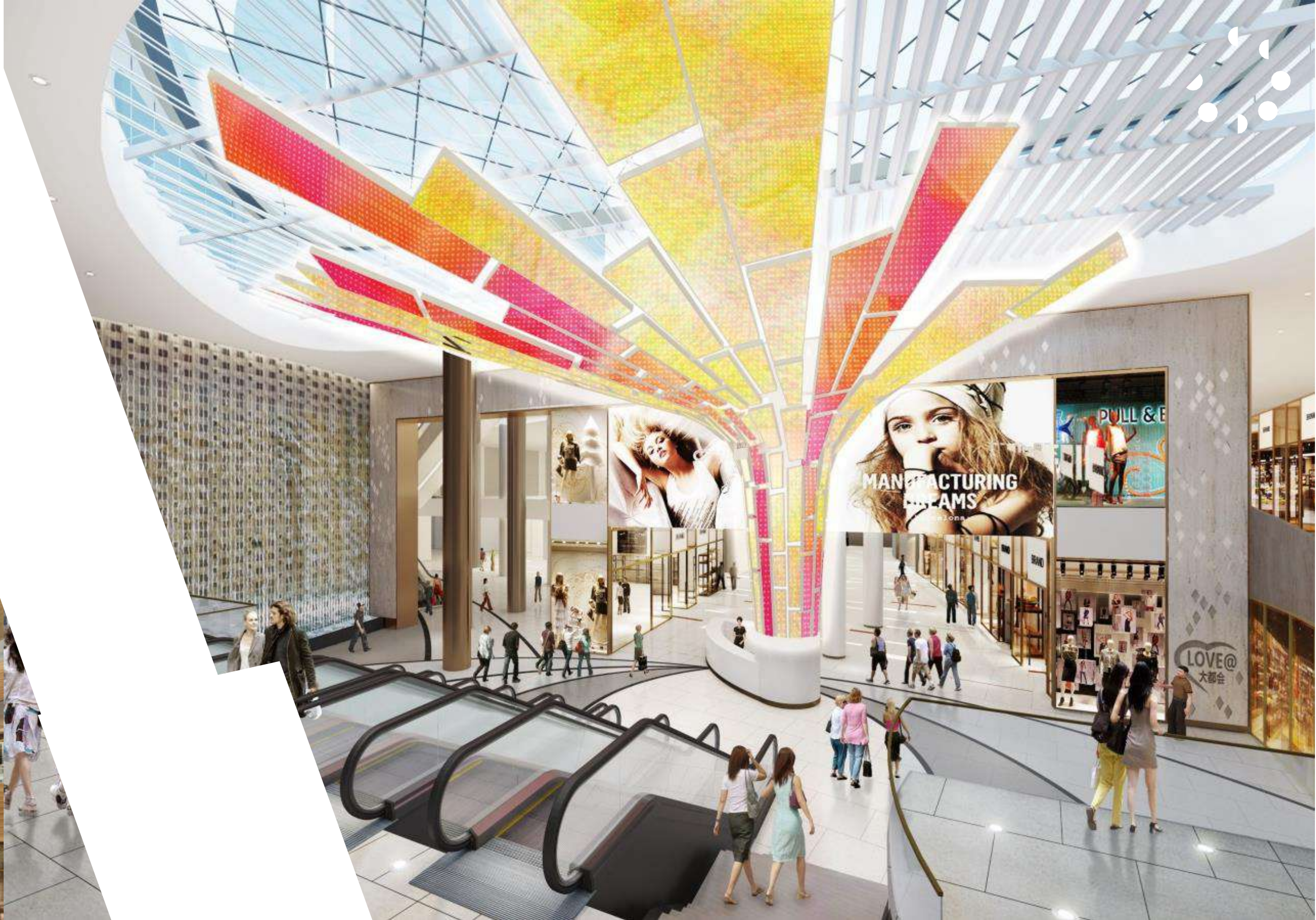
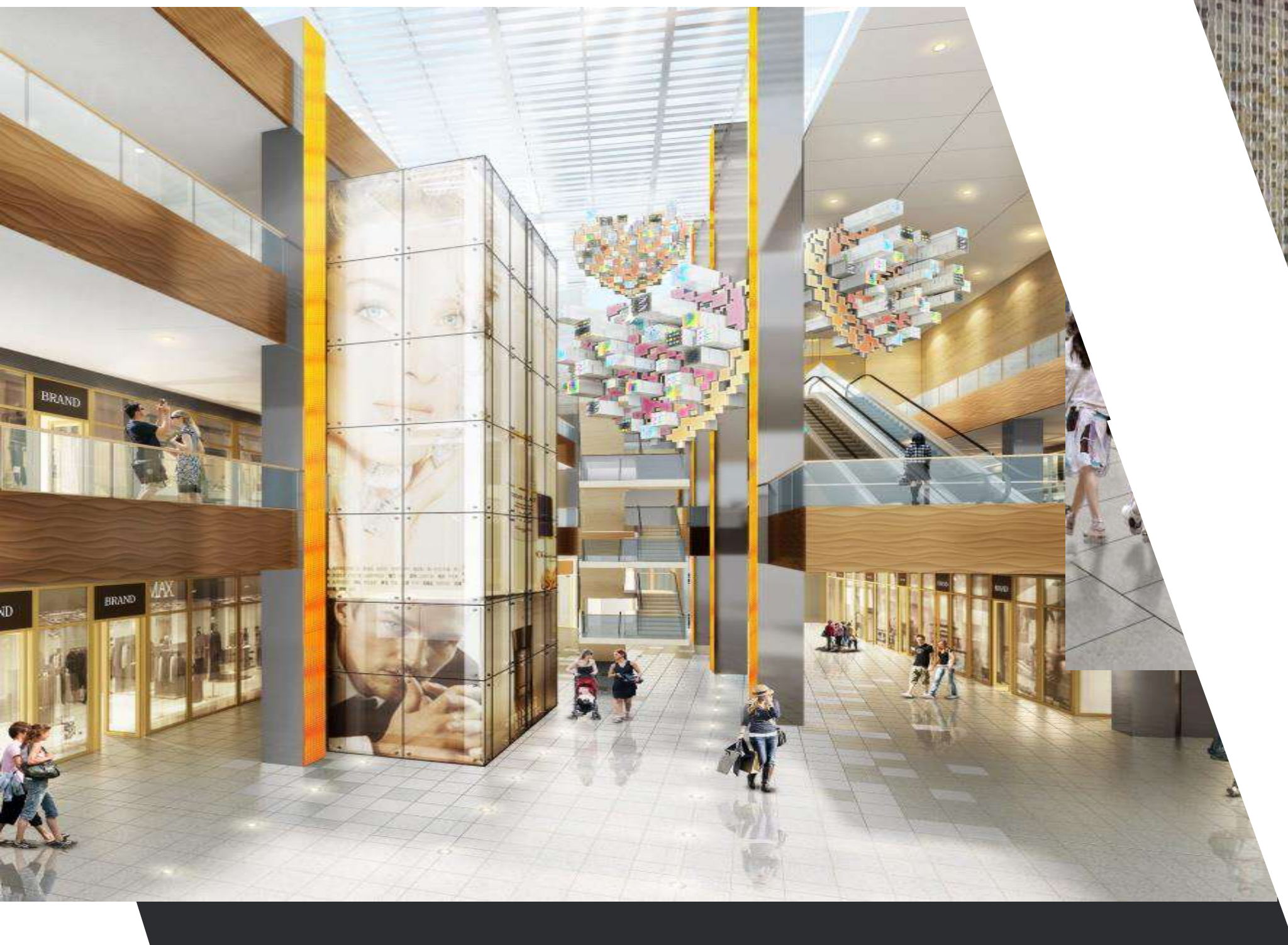


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Portfolio - Conceptual

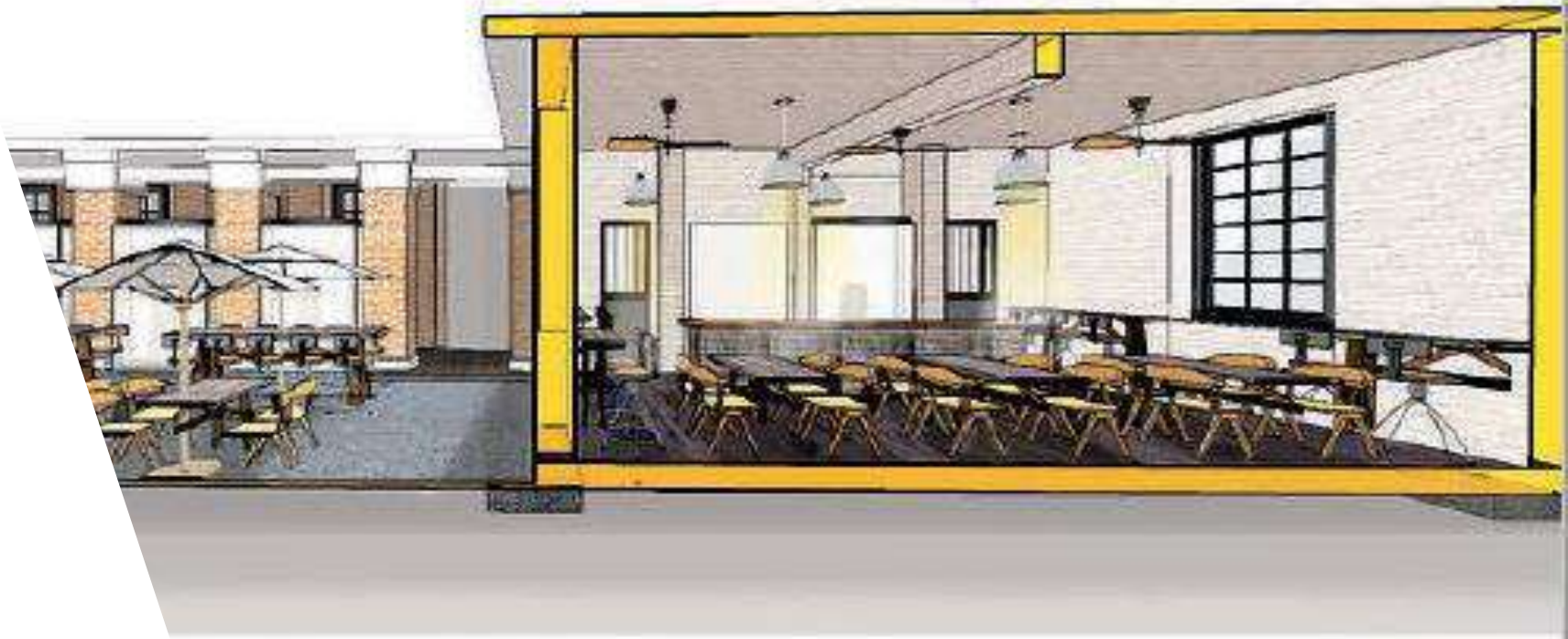
CK Mall

ShangHai



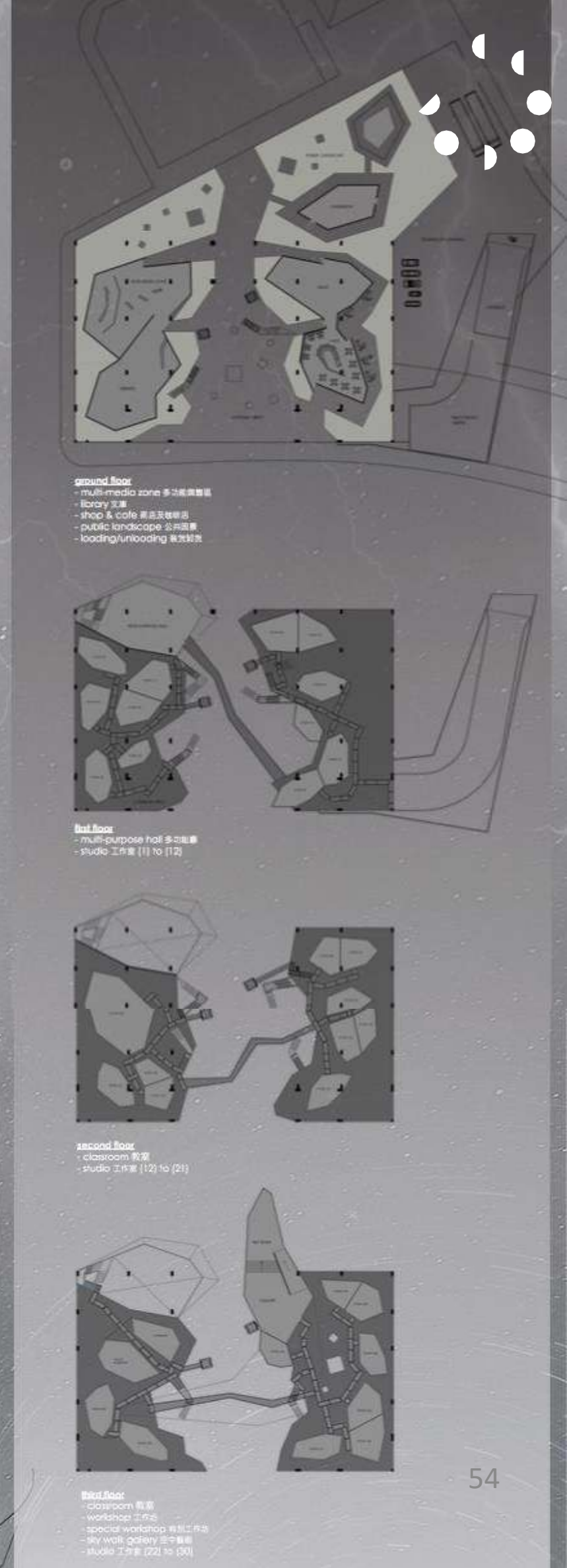
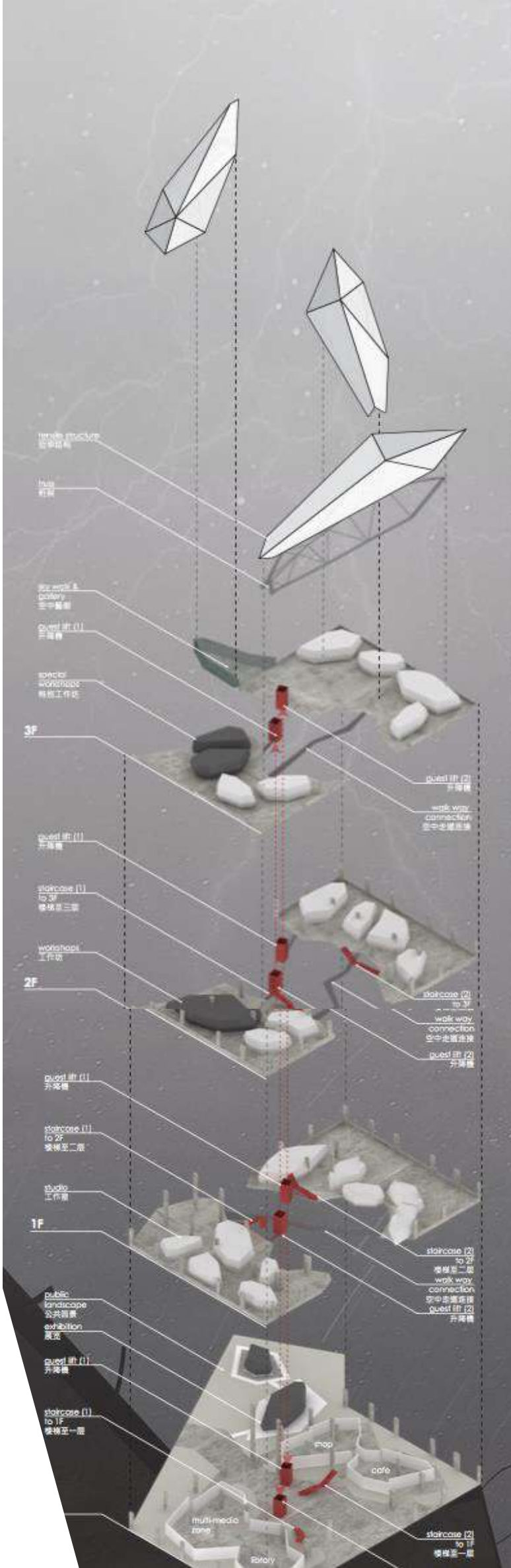
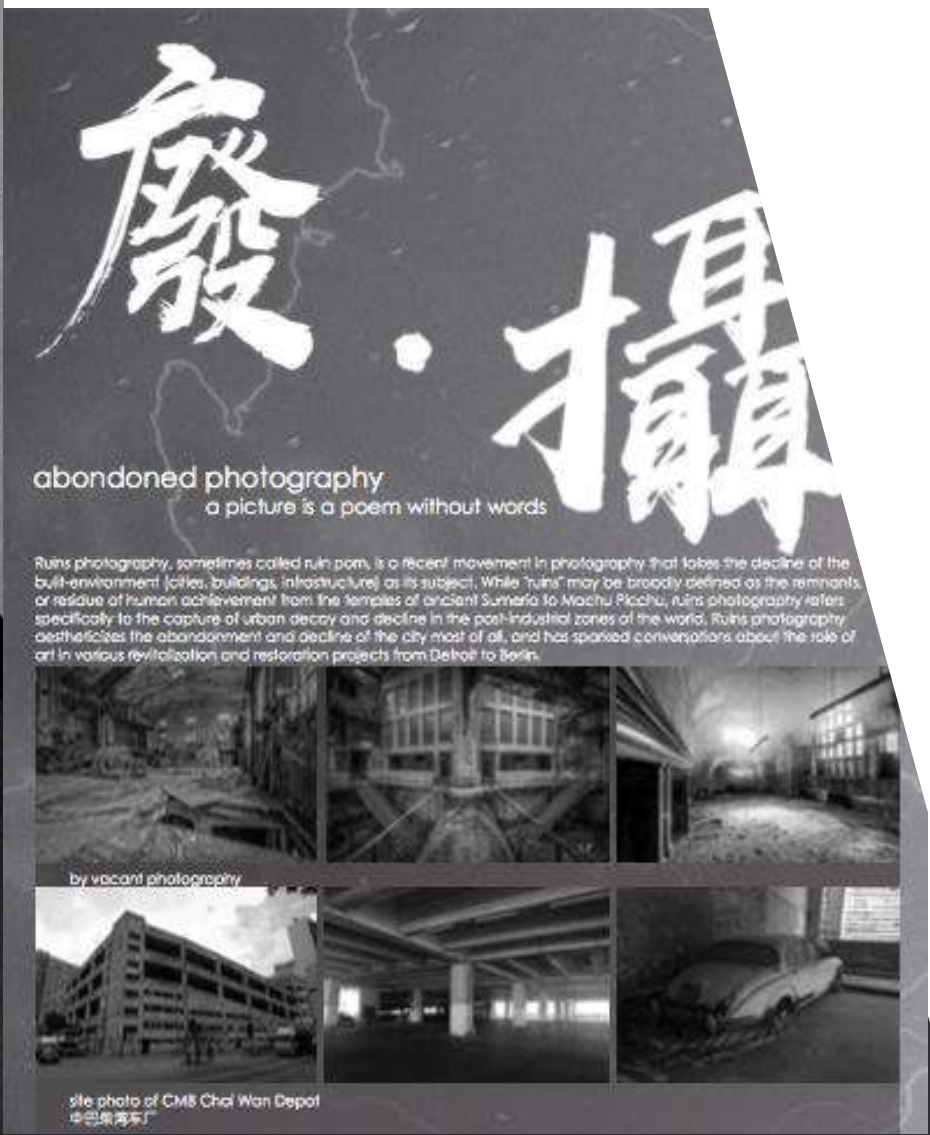
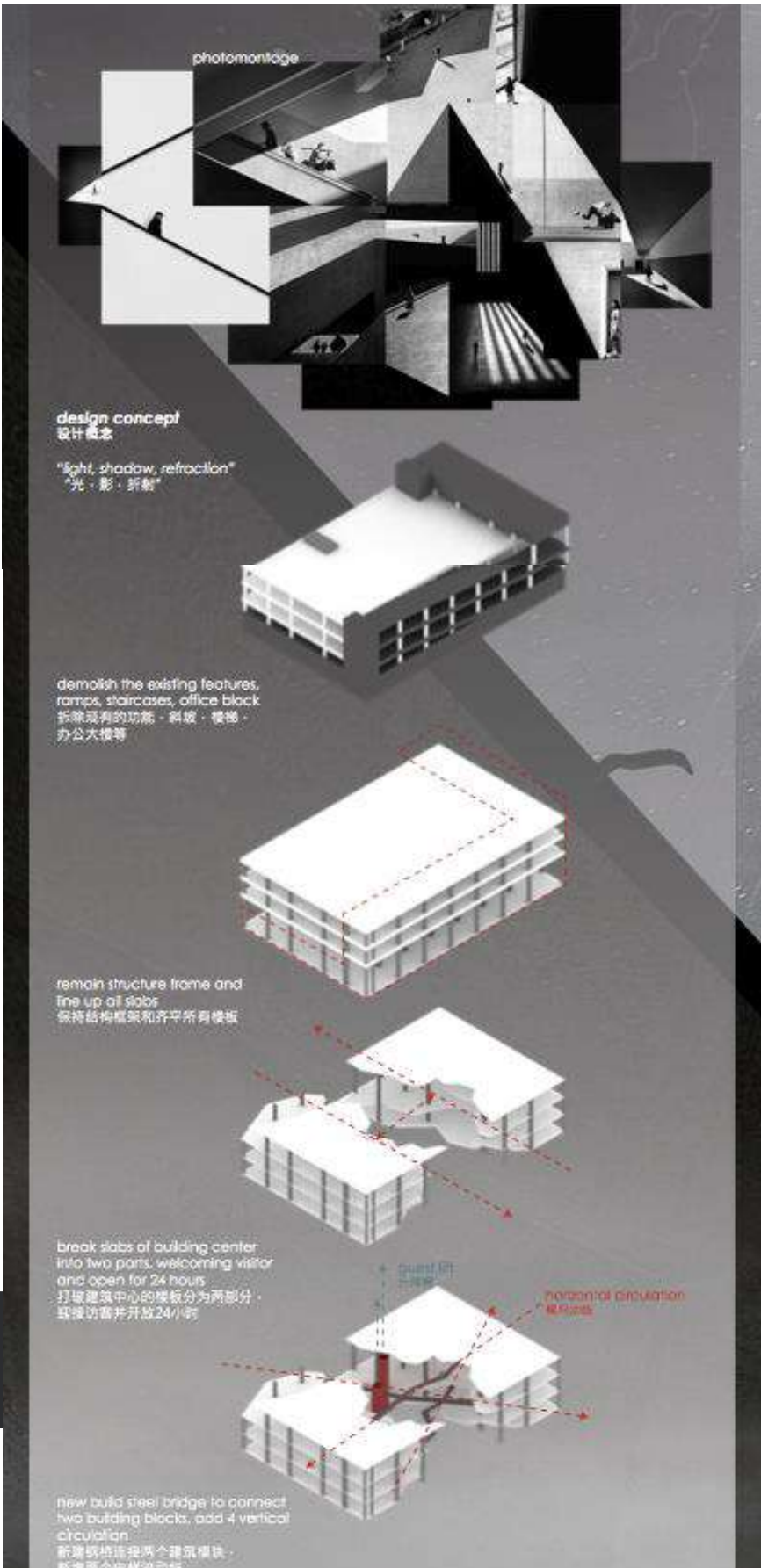
D-Hall

Central Old Police Station



InCubation Centre

Hong Kong

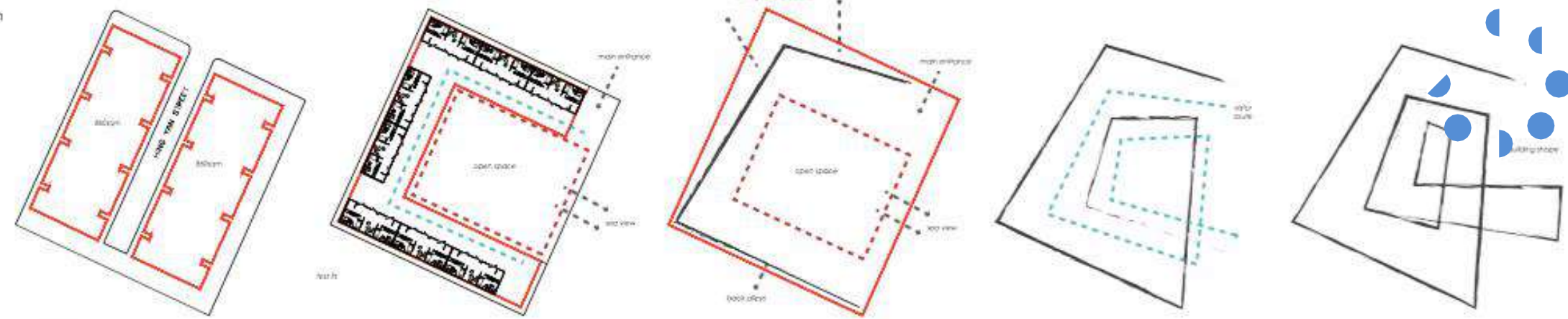


Portfolio - Conceptual

Co-Living

Hong Kong

building form
/ section view

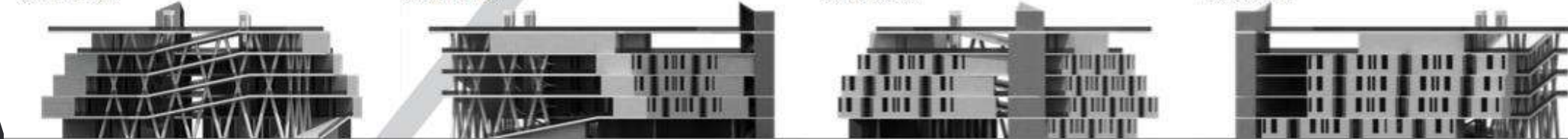


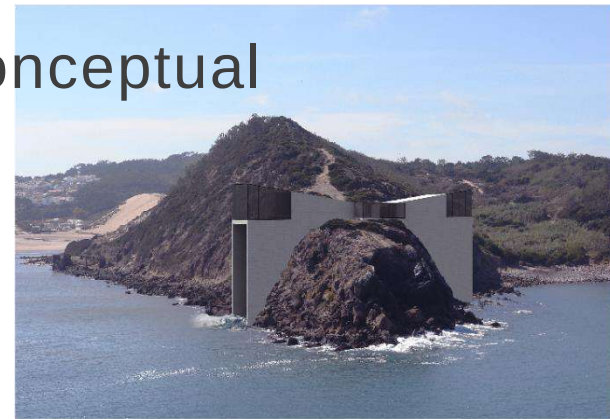
elevation NE

elevation NW

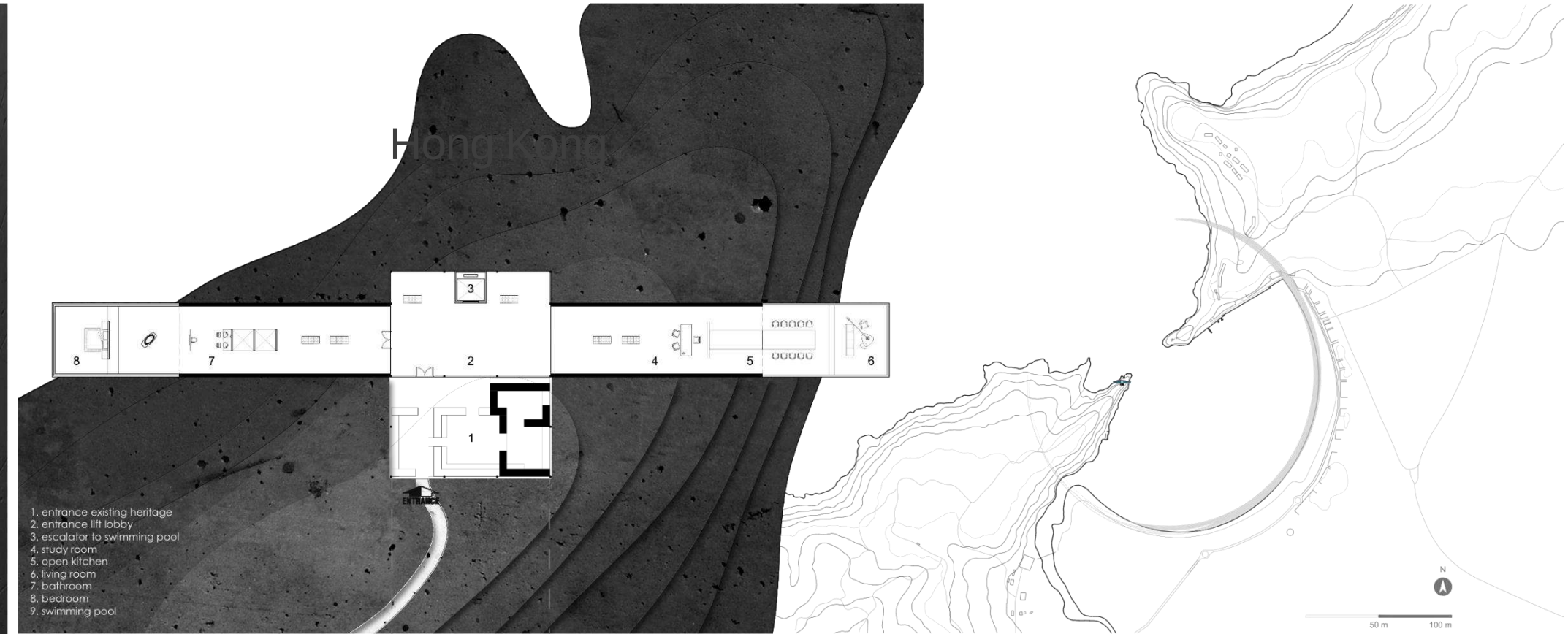
elevation SW

elevation SE

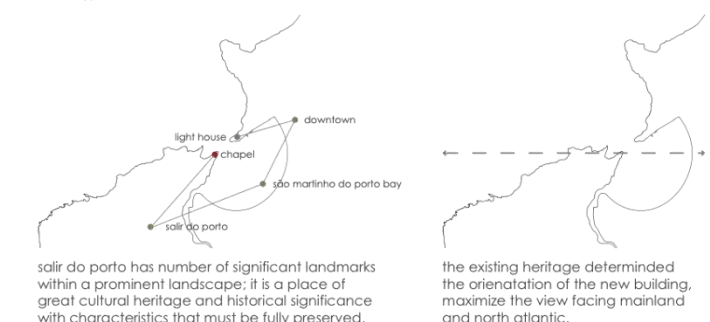
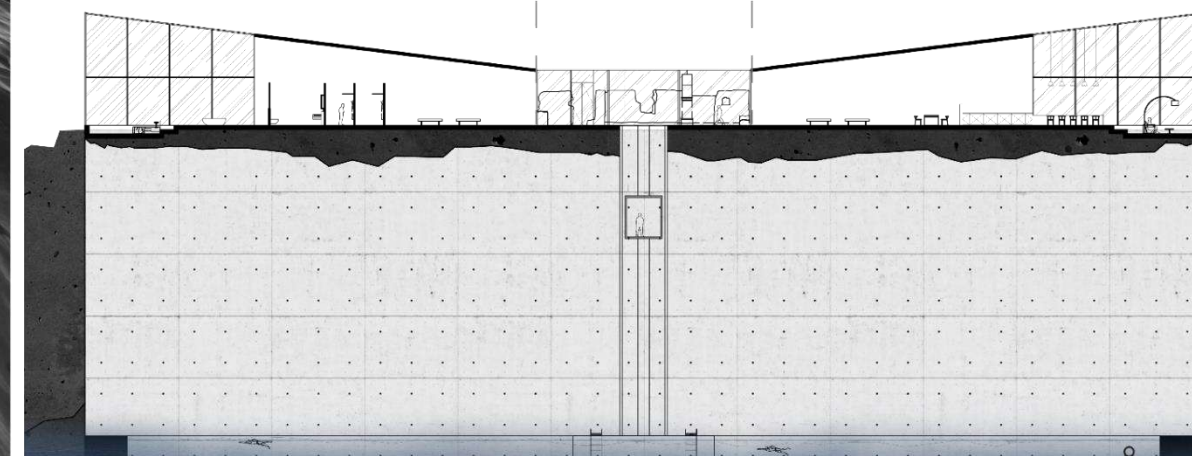




Portfolio - Conceptual



Chapel



são do porto has number of significant landmarks within a prominent landscape; it is a place of great cultural heritage and historical significance with characteristics that must be fully preserved.

the existing heritage determined the orientation of the new building, maximize the view facing mainland and north atlantic.



PROJECT: 990 HA CONCEPT MASTER PLAN

THE OCEAN VALLEY TOURISM COMPLEX IS VISIONED TO BECOME THE "SECOND HOME CAPITAL", SERVING AS A SUCCESSFUL RESIDENTIAL AND TOURISM DESTINATION. THIS COMPLEX IS VISIONED TO MERGE ITS VARIOUS TYPOLOGIES WITH LOCAL CULTURAL HERITAGE AND MULTI-SENSORY SIMULATING ENTERTAINMENT, ANCHORED BY TWO GOLF COURSES.

THE SITE'S LANDUSE PLAN WAS CONCEIVED TO ARTICULATE THE AREA'S DRAMATIC TERRAIN AND TYPOLOGIES TO CREATE A DYNAMIC SKYLINE AND MAXIMIZE THE VIEWING OPPORTUNITIES INTO AND OUT FROM THE SITE. THE ORGANIC PLACEMENT OF RESIDENTIAL UNITS SURROUNDING THE TWO GOLF COURSES HELPS STRENGTHEN THE SITE'S IMAGE OF A RELAXING GOLFING DESTINATION WHILE THE CHARACTER OF AN ACTIVE WATERFRONT IS ACCENTUATED BY THE WATERPARK AND ACTIVITY PLATFORMS THAT DRAW PEOPLE TO THE WATER.



**OCEAN VALLEY
TOURISM COMPLEX**



SITE PHOTOS

1 OCEAN VALLEY ENTRANCE STATEMENT

THE ENTRANCE TO DVTC IS DEFINED BY TWO MAIN GATEWAY FEATURES THAT ARE A COMBINATION OF HOUSING AND SLOPE TREATMENT WITH COLOURFUL VEGETATION, TREES AND BUILT STRUCTURE WITH CLEAR SIGNAGE AND SPECTACULAR LIGHTING.



2 TOWN CENTRE

THE TOWN CENTRE IS THE CENTRAL COMMERCIAL AND BATHERING PLACE FOR RESIDENTS AND TOURISTS WITH AN OPEN PLAZA AND WATER FOUNTAIN FOR CULTURAL PERFORMANCES AND OTHER ACTIVITIES. THE AREA ALSO INCLUDES COMMUNITY FACILITIES (DEVELOPER AND MANAGEMENT OFFICE, A TOURISM INFORMATION CENTRE, FIRE AND POLICE STATION, SMALL MEDICAL FACILITIES, POST OFFICE, DAY CARE CENTRE AND RENTAL SHOPS, RESTAURANTS, SUPERMARKET ETC.).



3 RESIDENTIAL BOULEVARD ENTRANCE STATEMENT

DEFINED BY TWO MAIN GATEWAY FEATURES BETWEEN THE APARTMENTS AND TOWN CENTRE THAT ARE A COMBINATION OF HOUSING AND SLOPE TREATMENT WITH COLOURFUL VEGETATION, TREES AND BUILT STRUCTURE.



4 Neighbourhood Entrance



EACH NEIGHBOURHOOD HAS ITS OWN DISTINCTIVE SIGNAGE AND SECURITY GATE THAT WELCOME RESIDENTS AND THEIR VISITORS TO THE NEIGHBOURHOOD. FROM THE ENTRANCE, RESIDENTS AND VISITORS CAN SEE THE ACTIVITIES THAT ARE HAPPENING BY THE COMMUNITY CENTRE, AND WINDING ROWS OF VILLAS OF A DISTINCTIVE ARCHITECTURAL STYLE THAT DIFFERS FROM OTHER NEIGHBOURHOODS.

OCEAN VALLEY DESIGN CONCEPT



5 BEACH COMMERCIAL

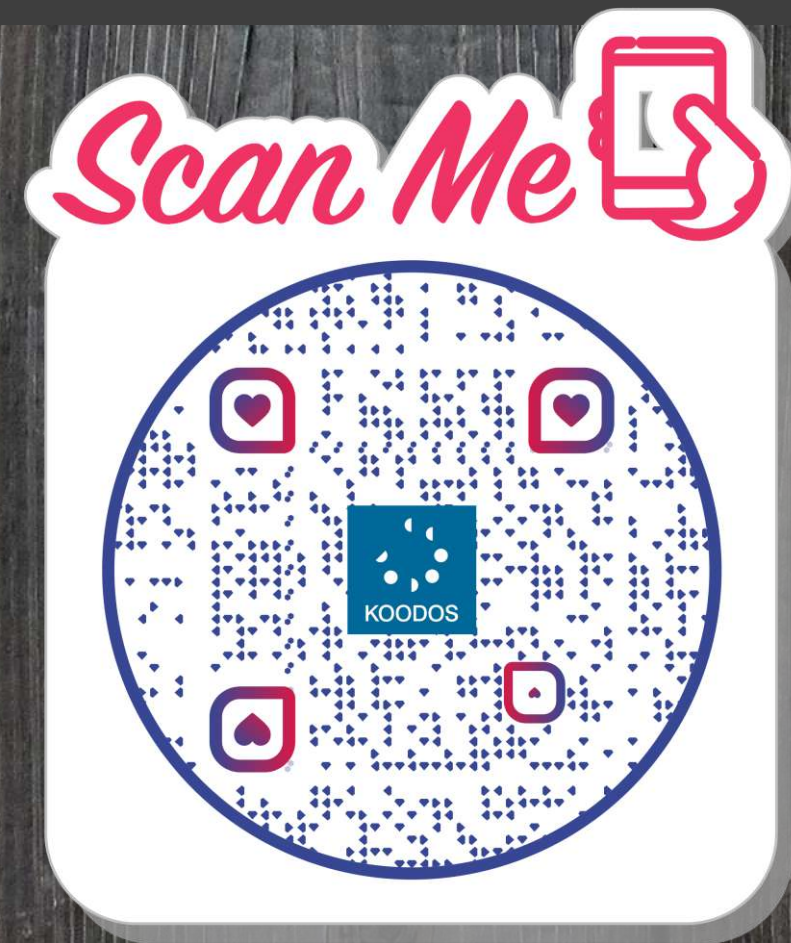


THE BEACH COMMERCIAL AREA IS A SERIES OF RETAIL AND F&B PAVILIONS CONNECTED WITH A BOARDWALK THERE WILL ALSO BE A RENTING AND TEACHING FACILITY FOR WATER SPORTS. AT THE CENTRE OF THE AREA IS THE FAMILY RESORT HOTEL THAT LOOKS OUT AT THE VAST OCEAN.

6 GOLF CLUBHOUSE

GOLFERS ARE WELCOMED TO THE GOLF COURSE BY GRAND AND ELEGANT CLUBHOUSES WITH COMMANDING VIEWS FROM TERRACES. HERE, THE GOLFERS CAN LOUNGE AND DINE IN THE RESTAURANTS AND BARS, AND OVERLOOK THE PLAYING BY THE 9TH AND 18TH HOLES OF THE GOLF COURSE.





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Koodos Design LTD

THANK YOU